

HARTFORD PLANNING COMMISSION
January 13, 2025
Meeting Notice and Agenda

The Hartford Planning Commission will meet on Monday, January 13, 2025, beginning at 6:00 p.m. to consider the following Administrative Matters and Applications.

This meeting will be conducted in person at Hartford Town Hall, 171 Bridge Street, White River Junction, Vermont. In addition, you may join the meeting remotely as follows:

Microsoft Teams [Need help?](#)

[Join the meeting now](#)

Meeting ID: 279 450 368 00

Passcode: 5zk3D9LH

Dial in by phone

[+1 802-377-3677,,420670697#](#)

1 (802) 377-3677

Phone conference ID: 420 670 697#

If you have problems accessing this meeting, please email Jo-Ann Ells at jells@hartford-vt.org

A. Administrative Matters beginning at 6:00 p.m.

1. Public Comment. 2. Minutes. 3. Administrative Permits. 4. Act 250 Applications. 5. Town Plan Steering Committee update. 6. Regional Planning Commission update. 7. Climate Action Plan update. 8. Availability for the next Public Hearing.

B. Public Hearing, beginning at 6:30 p.m.

1. Application #24-15 by Giri White River 91, LLC and Piplyn Inc. (owners/applicants) for approval of a lot line adjustment between lots 14-0018-001 and 14-0018-BV, 91 and 121 Ballardvale Drive and 340 North Hartland Road, Hartford, in the GCR zoning district.

2. Application #25-01 by Alexander and Candice DeFelice (owners/applicants) for approval of the subdivision of lot 42-0061-000 into two lots, 565 Maple Street, Hartford, in a R-1M zoning district.

Please call the Department of Planning and Development (802) 295-3075 to request copies of the application materials. Persons wishing to be heard regarding these applications may do so by participating in the meeting, having another party participate in the meeting on their behalf, and/or by submitting written testimony.

An interested person who has **participated** in a municipal regulatory proceeding may appeal a decision rendered in that proceeding to the Vermont Environmental Court. Participation in a local regulatory proceeding shall consist of offering, through oral or written testimony, evidence or a statement of concern related to the subject of the proceeding.

John Reid, Chair

**Planning Commission
Administrative Agenda
January 13, 2025**

1. Public Comment

2. Minutes

October 7, 2024

3. Administrative Permits

- Summit Distributing, Quechee Mobile, remove building/upgrade parking
- Snow Village, Deck
- Northern Stage, EV Changing stations
- White River Toyota, temporary structures
- Tea House, food truck
- Lakeland Golf Course, riverbank repairs
- Twin Pines Housing Trust, EV charging stations
- Twin River Urology, Saturday hours

4. Act 250 Applications

- Catamount Self Storage, Route 14

5. Town Plan Steering Committee update (Bruce)

6. Regional Planning Commission update (Bruce)

7. Climate Action Plan update (John R.)

8. Availability for the next Public Hearing (February 24th)

**DRAFT
Minutes
Hartford Planning Commission
October 7, 2024**

**THIS MEETING WAS CONDUCTED IN COMPLIANCE WITH
THE VERMONT OPEN MEETING LAW
IN PERSON WITH ELECTRONIC PARTICIPATION AVAILABLE**

Present: John Reid, Bruce Riddle, Dillon Bianchi, John Heath, Colin Butler, Dylan Kreis, Kim Souza, Selectboard Liaison, and Jo-Ann Ells, Zoning Administrator

Absent: Toby Dayman,

John Reid read the hybrid meeting script, and took a roll call.

Administrative Matters

1. Public Comment

None.

2. Minutes

Colin Butler noted several corrected to the September 5, 2024 draft minutes and moved to approve the minutes with the noted changes. John Heath seconded, and the motion passed unanimously.

3. Administrative Permits

Jo-Ann Ells reviewed the following administrative permits:

- Riverwalk, Corner of Maple St. & Prospect St., fencing, smoking shelter, EV charger.
- Wilder School, Norwich Ave., sheds & playground equipment
- High School, Highland Ave., Football field netting

Kim Souza noted that the adjacent businesses will be happy to hear there is a designated smoking area for Riverwalk. She asked if a pet walking area was considered for the project. John Reid commented that he did not recall pet walking area being discussed.

4. Act 250 Applications

Jo-Ann Ells noted the following act 250 applications that the Planning Commission has approved:

2. 10-07-24

- Quechee Fire Station, Willard Rd., addition
- Jasmin Auto, Jasmin Lane, Parking

5. Climate Action Plan update

John Reid stated that the Climate Action Committee will be holding a public meeting this year to hear citizen's concerns about public hazards and preparedness.

6. Regional Planning Commission update

Bruce Riddle stated that the RPC has opened public hearings on the update and noted he plans to attend one of the hearings.

7. Town Plan Steering Committee update

No report.

8. Availability for the next Public Hearing

Jo-Ann Ells noted that there were no applications for the Planning Commission to review in November and asked that Commissioners keep the meeting date of Wednesday, November 13th open in case the Town Planner requests to have a meeting.

Public Hearing

John Reid opened the Public Hearing, explained the Hearing process, and interested party rule, and administered the path.

1. Application #24-13 by Good Neighbor Health Clinic (owner) and Elizabeth Austin (applicant) for Site Development Plan Approval under section 260-45 of the Hartford Zoning Regulations for the installation of a "Harm Reduction Vending Machine," lot 45-0118-000, 70 North Main Street, White River Junction, in the CB zoning district.

Elizabeth Austin gave an overview of the purpose of the project.

John Reid questioned why the Planning Commission was hearing the application.

Jo-Ann Ells noted that it is a change to their site plan and because she believed the public should be able to comment given the uniqueness of the project an administrative permit was not discussed.

Elizabeth Austin shared that she talked with organizations in St. Johnsbury, VT and Littleton, NH who reported positive experiences with providing harm reduction vending machines.

John Reid noted that he recently read an article about the benefits of making Narcan accessible.

Dylan Kreis asked about vandalism. Elizabeth Austin stated that she expects people to take what they need and noted there is nothing that will restrict access to items.

It was agreed that a trash receptacle should be provided.

Elizabeth Austin noted the vending machine will not have needles but will have containers to dispose of needles.

Barbara Farnsworth of the Good Neighbor Health Clinic Board expressed support for the project.

Colin Butler commented that he wondered if more sharps disposal containers could be made available in town. Jo-Ann Ells stated she would pass this on to the Safety Committee.

Dylan Kreis noted that the Police and Fire Departments can be contacted for disposal if needles are found by members of the public.

There was no public comment.

Colin Butler moved to close the Public Hearing. John Heath seconded, and the Public Hearing was closed.

John Heath moved to approve the application. Colin Butler seconded, and the motion passed unanimously.

2. Application #24-14 by Andrew and Shyla Stewart (owners/applicants) for approval of the subdivision of lot 04-0012-000 into two lots, Jericho Street and Newton Lane, Hartford, in RL-5, RL-10, and Rural Lands zoning districts.

Andrew and Shyla Stewart were present.

Jo-Ann Ells gave an overview of the application.

The Commission discussed the location and topography of the proposed lot and building envelope.

Abutter Alex Hartov asked about development of the property. Jo-Ann Ells noted that the application did not include a proposal for development.

John Heath moved to close the Public Hearing. Dillon Bianchi seconded, and the Public Hearing was closed.

Colin Butler moved to approve the application. Dillon Bianchi seconded, and the motion passed 5-1. John Heath noted that he did not believe the application met the requirements of section 200-2 D and E of the Subdivision Regulation.

Adjournment

4. 10-07-24

At 6:55 p.m., Colin Butler moved to adjourn. John Heath seconded, and the Hearing was adjourned.

Respectively Submitted,

Toby Dayman, Clerk

Planning Commission Terms

Bruce Riddle 02-07-25
Dillon Bianchi 09-05-25
Dylan Kreis 6-26-26
John Reid 02-05-27
John Heath 03-11-27
Toby Dayman 06-24-27
Colin Butler 06-24-27

**DRAFT
FINDINGS OF FACT
CONCLUSIONS OF LAW
AND
DECISION**

HARTFORD PLANNING COMMISSION

Application #24-15 by Giri White River 91, LLC and Piplyn Inc.
for approval of a lot line adjustment
lots 14-0018-001 and 14-0018-BV-1 & 2
91 and 121 Ballardvale Drive and 340 North Hartland Road
Hartford, in the GCR zoning district

This decision pertains to application #24-15 by Giri White River 91, LLC and Piplyn Inc. (owners/applicants) for approval of a lot line adjustment between lots 14-0018-001 and 14-0018-BV-1 & 2 , 91 and 121 Ballardvale Drive and 340 North Hartland Road, Hartford, in the GCR zoning district.

FINDINGS OF FACT

Based upon the information contained in the exhibits for this application (see attached list) and the evidence adduced at the Planning Commission meeting of January 13, 2025, the Hartford Planning Commission makes the following Findings of Fact:

1. The owner of record of lot 14-0018-BV-1 & 2 is Giri White River 91, LLC who acquired the lot on 03-25-24. The deed is recorded in volume 619, page 654 of the Hartford Land Records.

The owner of record of lot 14-0018-001 is Piplyn Inc. who acquired the lot on 01-11-08. The deed is recorded in volume 425, page 448 of the Hartford Land Records.

2. The lots are located at 91 and 121 Ballardvale Drive and 340 North Hartland Road.
3. Lot 14-0018-BV-1 & 2 is 4.62 acres.

Lot 14-0018-001 is 1.4 acres.

4. Lot 14-0018-BV-1 & 2 is developed with two hotels.

Lot 14-0018-001 is developed with a commercial building.

2. 24-15

5. The lots are class one (1), municipal water and sewer.

6. The lots are in the GCR zoning district.

This Application

7. The applicants propose to annex 0.05 acres/2,178 sq. ft. from lot 14-0018-BV-1 & 2 to lot 14-0018-001.

According to the applicants, “the boundary line adjustment is needed because, according to the record titles, a small portion of the Piplyn building is on the lands of Giri. A full boundary survey was recently undertaken for the Gigi property, but a full boundary survey of Piplyn has not been performed.”

Given that a very small portion of land is transferring, the Piplyn property is increasing in size, and the Giri lot was recently surveyed, a waiver from a full boundary is justified under section 200-30 of the Subdivision Regulations which permits the Planning Commission to waive or vary requirements, subject to appropriate conditions, if the Commission determines that:

- A. the requirement is not requisite in the interest of public health, safety, and general welfare; or
 - B. the requirement is inappropriate due to the inadequacy or lack of connecting facilities adjacent to or in proximity to the subdivision; and
 - C. the waiver will not have the effect of nullifying the intent and purpose of these regulations, the Hartford Master Plan and/or other Town bylaws and ordinances in effect.
8. After the adjustment, the lots will continue to meet the minimum area and dimensional requirements for the zoning district.
9. The application is a “One-step” application under section 203-C 2 of the Subdivision Regulations.
10. The applicant understands that they retain the obligation to identify, apply for, and obtain any relevant local and state permits for this project.
11. The applicant understands that to finalize this approval they must submit a complete Zoning Permit application within 180 days of this decision, or the decision will be null and void. They understand a complete application includes:
- An application for a Zoning Permit

3. 24-15

- Application fee (\$75)
- Documentation outlining how any conditions of the Planning Commission's approval have been met
- Mylar
- A letter from their surveyor certifying that the monuments have been set according to the locations identified on the survey as approved by the Planning Commission

CONCLUSIONS OF LAW

Based upon the foregoing Findings of Fact, the Hartford Planning Commission concludes that the proposed subdivision meets the requirements of the Town of Hartford Subdivision Regulations including:

Section 200-2 Hartford Subdivision Regulations:

- A. To guide future development in accordance with the Hartford Master Plan (the Plan), Zoning Regulations, Flood Hazard Area Regulations, Capital Budget and Program, and all other Town adopted bylaws, ordinances, regulations, plans, policies, and procedures.
- B. To promote a desirable relationship to the landform, its topography and geology, natural drainage and surface water runoff, surface water, and groundwater.
- C. To conserve natural resources and fragile features such as prime agricultural soils, wetlands, streams, ponds, steep slopes, ridgelines, important wildlife habitat and connectivity, and scenic views.
- D. To minimize the fragmentation of productive resource lands, including farm and forest land, and to promote their continued use and availability for agriculture, forestry, and wildlife.
- E. To maintain Hartford's historic settlement pattern, defined by compact villages surrounded by rural countryside.
- F. To encourage variety, innovation, flexibility, and greater efficiency in residential development including clustering of lots, in accordance with the provisions of 24 V.S.A. §4417 (Planned Unit Development).
- G. To establish standards of subdivision design including, but not limited to provisions for pedestrian and vehicular traffic, surface water runoff, surface water, and suitable building sites for the land use contemplated.
- H. To ensure development does not exceed the ability of the Town to provide public services and facilities, and that these facilities and services are available and will have sufficient

4. 24-15

capacity to serve any proposed subdivision. Such facilities and services include, but are not limited to: parks, recreation areas, schools, police and fire protection, libraries, water and wastewater facilities, roads, and public parking.

- I. To provide adequate utilities such as water, wastewater, electricity, telephone, and broadband.
- J. To provide the most efficient relationship between land use and the circulation of traffic throughout the Town, encourage access management, and avoid undue traffic congestion and overburdening of roads, highways, and intersections.
- K. To promote the conservation of energy and use of renewable energy resources.
- L. To encourage variety in the type, size, and cost of housing to meet the needs of Hartford's diverse population.

DECISION

The Hartford Planning Commission, based upon the forgoing Findings of Fact and Conclusions of Law hereby approves Application #24-15 by Giri White River 91, LLC and Piplyn Inc. (owners/applicants) for approval of a lot line adjustment between lots 14-0018-001 and 14-0018-BV-1 & 2, 91 and 121 Ballardvale Drive and 340 North Hartland Road, Hartford, in the GCR zoning district **on the condition that before a zoning permit is issued to finalize this Decision the applicants submit a letter from their surveyor verifying that the monuments have been set according to the locations identified on the approved survey plat.**

This decision is also subject to the condition that no modification or expansion shall be made to the project as described and limited in the above Findings of Fact and Conclusions of Law without the written approval of the Hartford Zoning Board of Adjustment and/or the Hartford Planning Commission. This decision may be revoked, and a new application or permit required if conditions and findings are violated or modified without written approval.

The applicant is responsible for insuring compliance with all applicable State and Federal regulations pertaining to this application.

Those in favor:

Those in opposition:

Those not participating:

Dated at Hartford, Vermont this ____ day of January 2025.

HARTFORD PLANNING COMMISSION

5. 24-15

By _____
Chairperson/Vice-Chairperson

Appeal Rights: An interested person who has participated in the proceeding related to this decision has the right to appeal this decision to the Vermont Environmental Court, pursuant to 24 V.S.A. s. 4471 and V.R.E.C.P.5, in writing, within 30 days of the date of this decision. If you fail to appeal this decision, your right to challenge this decision at some future time may be lost because you waited too long. You will be bound by this decision, pursuant to 24 V.S.A. s. 4472 (d) (exclusivity of remedy; finality).

EXHIBIT LIST

1. Application #24-15 with attachment
2. Survey prepared by LATITUDES Land Surveying entitled, "Boundary Line Adjustment for Giri White River 91, LLC and Piplyn, Inc., Ballardvale Drive, Hartford, VT"
3. Survey prepared by LATITUDES Land Surveying entitled, "ALTA/NSPS Land Title Survey for Larkin Family Partnership, 91 & 121 Ballardvale Drive, Hartford, VT"
4. Memo from Jo-Ann Ells dated November 13, 2024
5. Letter from Carl Lisman dated December 4, 104

LAW OFFICES OF CARL H. LISMAN PLLC

Attorneys at Law

Carl H. Lisman
Direct dial: 802 657-7225
E-mail: clisman@lismanlaw.com

December 4, 2024

Jo-Ann Ells
Zoning Administrator Town of Hartford
171 Bridge Street
White River Junction, VT 05001

Boundary Line Adjustment Application

Dear Jo-Ann:

Thank you for your memorandum, dated November 13, 2024, regarding the application by Giri White River 91 LLC (“Giri”) and Piplyn, Inc. (“Piplyn”) for an adjustment to their common boundary. The following is intended to be responsive to the list of items:

1. The applicants confirm that they must identify, apply for and obtain relevant state and local permits. Draft applications to amend existing Act 250 permits and WW permits have already been prepared.
2. The applicants will file, after receipt of approval by the Planning Commission, an application for a zoning permit (including payment of the \$75 fee) and a recordable mylar showing the boundary line adjustment. If there are conditions imposed by the Planning Commission, the applicants will document how the conditions will be satisfied. The surveyor has set all the monuments identified on the survey to be set; we will provide his confirmation letter after approval
3. I have enclosed an amended version of the survey that includes a signature block for the Planning Commission’s endorsement and shows lot sizes before and after the boundary line adjustment.
4. The boundary line adjustment is needed because, according to the record titles, a small portion of the Piplyn building is on the lands of Giri. A full boundary survey of the Giri property was recently undertaken but a full survey of the Piplyn property has not been performed. Inasmuch as the adjustment will not affect the amount of impervious land, parking requirements, lot coverage or similar requirements on either the Giri or Piplyn properties, not having a full boundary survey of the Piplyn property would not appear to affect the Planning Commission’s evaluation of the application for the adjustment.
5. A single email attaching another copy of the application, the revised survey, and this letter has been sent to you. The application includes the revised project narrative. The mailed

LAW OFFICES OF CARL H. LISMAN PLLC
P.O. Box 728, Burlington, VT 05402-0728
Phone: (802) 657-7225

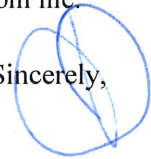
LAW OFFICES OF CARL H. LISMAN PLLC

Jo-Ann Ells
December 4, 2024
Page 2

package includes this letter, eight copies of the enclosures to the email, and the revised survey is on larger paper.

Let me know if you need more from me.

Sincerely,



Carl H. Lisman

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Town of Hartford

Planning Commission App # _____
Zoning Board of Adjustment App # _____

APPLICATION TO PLANNING COMMISSION &/OR ZONING BOARD OF ADJUSTMENT

PLEASE COMPLETE ALL ITEMS APPLICABLE AND PROVIDE THE CORRECT NUMBER OF COPIES OF THIS APPLICATION AND THE SITE PLAN OR SUBDIVISION PLAT. ABUTTING LANDOWNERS WILL BE NOTIFIED BY THE PLANNING/ZONING OFFICE.

1. NAME & ADDRESS OF RECORDOWNER(S) Giri White River 91 LLC
2300 Crown Colony Drive Suite 203 Quincy, MA 02169

Deed Recorded Book 619 Page 650- (Available at Town Clerk's Office)

Telephone: Work 802 657 7225 Cell 802 598 0333 Email Address: clisman@lisman.com

2. NAME & ADDRESS OF APPLICANTS(S) Pipl yn, Inc.
24 Airport Road White River Junction, VT 05001

Telephone: Work 802 657 7225 Cell 802 598 0333 Email Address: clisman@lisman.com

3. NAME & ADDRESS OF APPLICANTS' CONSULTANT Carl H. Lisman, Esq.
Box 728 Burlington, VT 05402

Telephone: Work 802 657 7225 Cell 802 598 0333 Email Address: clisman@lisman.com

4. PROJECT LOCATION 91 & 121 Ballardvale Drive, 340 North Hartland Road

5. PRESENT USE OF PROPERTY _____

6. BRIEFLY DESCRIBE PROJECT (in addition, a detailed narrative must be submitted)
confirmation of common boundary (common wall) - see attached

7. PROJECT SIZE IN SQ. FT OR ACREAGE _____
Lot Width _____ Lot Depth _____

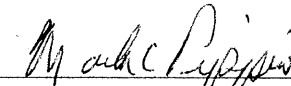
8. IS PROJECT ON TOWN WATER/SEWER? Yes _____ No _____ If Yes, estimated
Water Consumption/day _____ Amount of Sewer Flow Projected _____
Size of Closest Lines Above (water) _____ (sewer) _____

9. DESCRIBE LANDSCAPING PLAN _____

10. IF A BUSINESS - Present # of Employees _____
Proposed Days & Hours of Operation _____
Will you use the landfill & recycling center? Yes _____ No _____
The main waste by-product of your business is: _____

11. IF A RESTAURANT - Present seating _____ Proposed _____
12. PARKING SPACES - Number to be provided _____
13. SIGNAGE - Free Standing _____ Attached _____
14. FENCING – Location _____ Height _____
15. NEAREST WATER SUPPLY FOR FIREPROTECTION _____
16. ESTIMATED VALUE OF PROPOSED WORK _____
17. IS THERE AN EXISTING DRIVEWAY? _____
18. IF A SUBDIVISION - Number of New Lots to be Created 0
- Do you request that the Town consider taking over maintenance of – Roads no
- Or Park/Open Space n/a

I HEREBY CERTIFY THAT THE INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. (This certification must be signed by lot owners and applicants).

Applicant's Signature	Date	Lot Owner's Signature	Date
	10-9-24		10-9-24
Co-Applicant's Signature	Date	Co-Owner's Signature	Date

The applicant retains the obligation to identify, apply for, and obtain any relevant local or state permits before any construction may commence. Please call 802-282-6488 to speak with the State Permit Specialist.

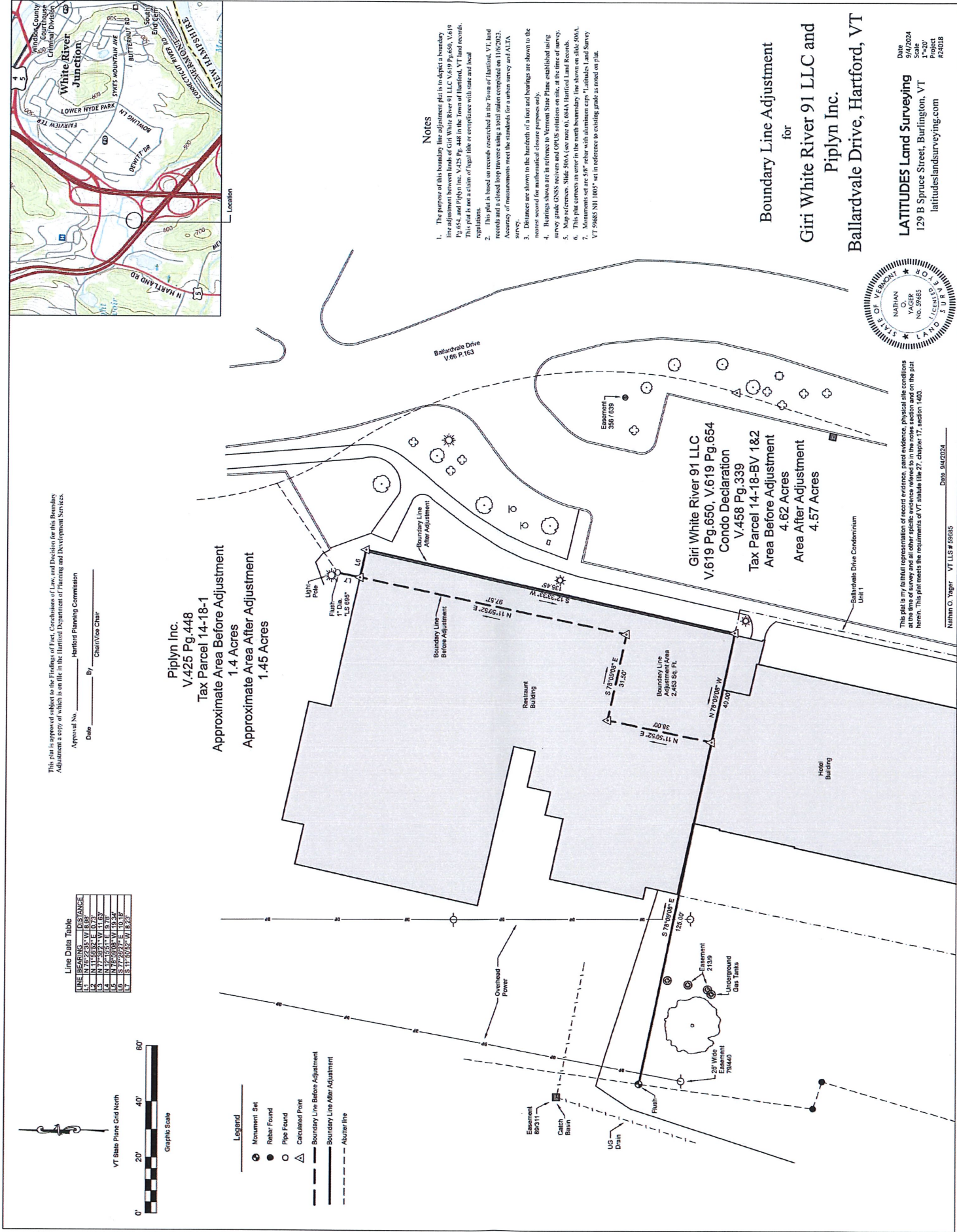
For Office Use Only		
Map/Lot #		
Fee Paid \$:		Receipt #:
PC: Site Plan	Min. Sub.	Maj. Sub.
PD	PD Amend.	Other
ZBA: Conditional Use	Variance	Appeal
Other		
Zoning District (s)		Date Filed:
Official Submittal Date:		

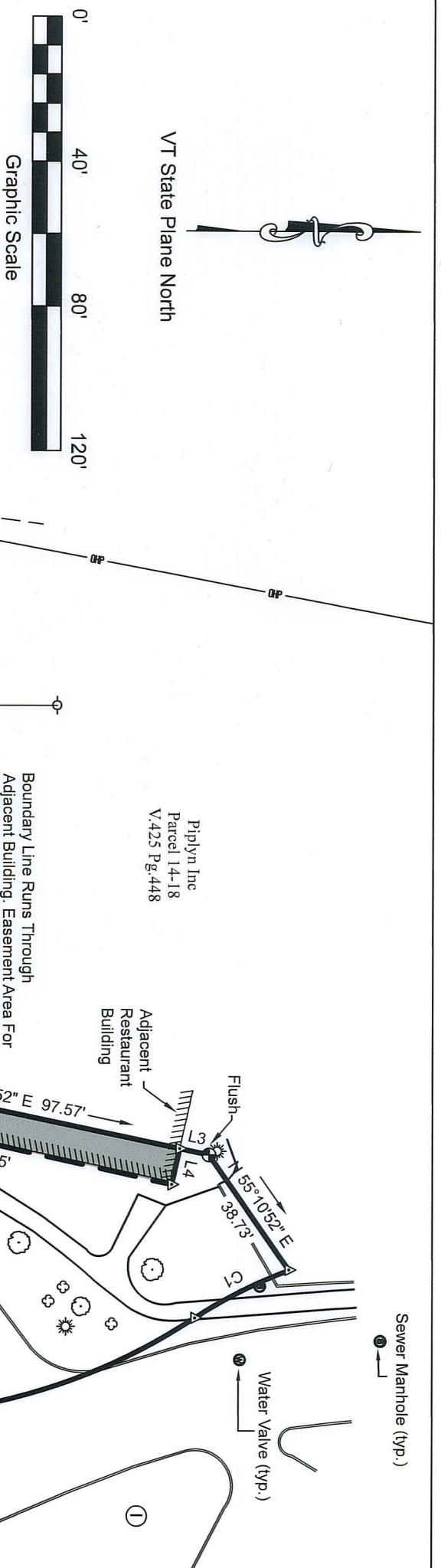
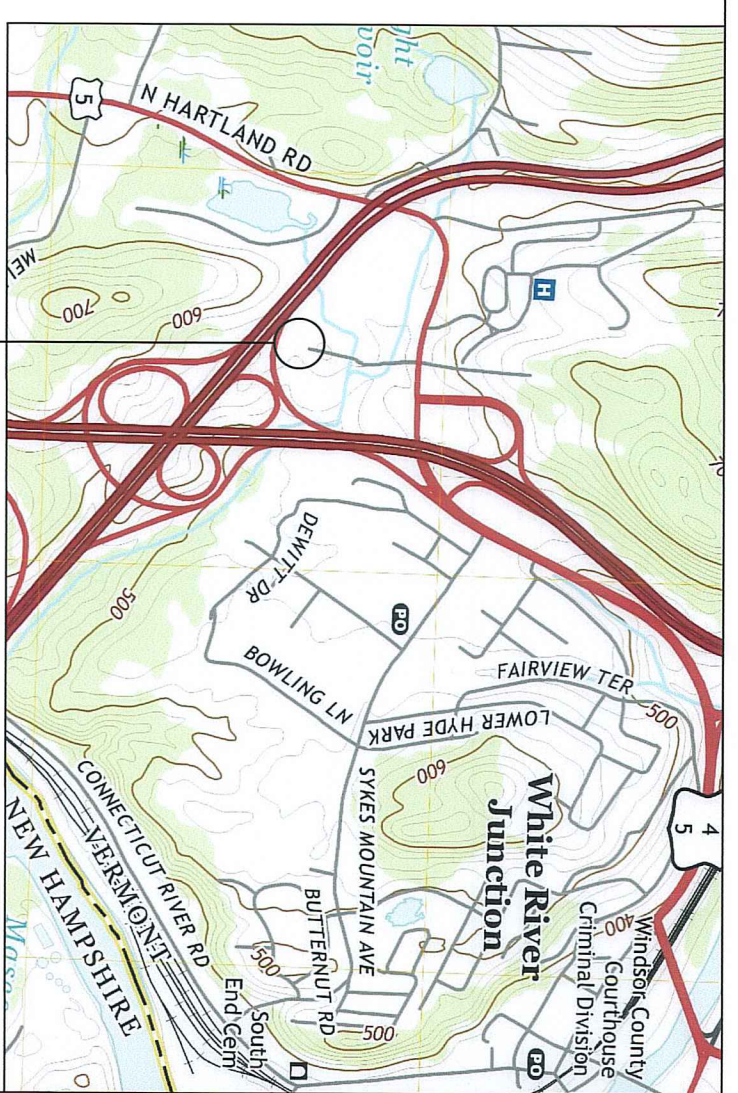
Attachment
to
Application

6. Briefly Describe Project

The Giri and Piplyn properties were once in common ownership. According to the record titles, a small portion of the Piplyn building is on the lands of Giri. To avoid the expense and uncertainty of litigation to require removal of the portion of the Piplyn building on the Giri land, the parties have agreed to effect a boundary line adjustment by which the Giri land underlying the Piplyn building will be conveyed to Piplyn. No new parcel will be created. The actual amount of land to be conveyed to Piplyn is approximately 2,674 square feet (0.0614 acres).

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- Legend**
- Rebar Found
 - Pipe Found
 - Concrete Monument Found
 - △ Calculated Point
 - ⊕ Schedule B Item
 - Boundary Line
 - - - Condo Unit
 - Easement Line
 - ⊕ Monument Set

Table A Notes

3. Flood Zone Designation. Surveyed property is located within an area having a Flood Zone designation "X" on FEMA Flood Insurance Rate Map No. 50027C0389E, effective date September 28, 2007.
6. No zoning information was provided to the surveyor.
9. 144 Total Parking Spaces, 9 Handicap Spaces.
11. Subject property is serviced from the public right of way for all utilities. Exact location was not determined.
16. No recent earth moving work, building construction, or building additions were observed during fieldwork.
17. There was no observed evidence of recent street or sidewalk construction on the subject property at the time of this survey.
20. Latitudes Land Surveying carries professional liability insurance.

Line Data		
LINE	BEARING	DISTANCE
L1	N 7°21'22" W	10.27'
L2	S 5°51'05" E	11.78'
L3	S 1°45'00" E	18.37'
L4	S 77°28'27" E	10.18'
L5	N 78°09'08" W	40.00'

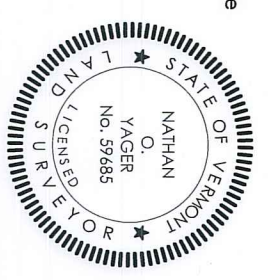
Curve Data				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING DELTA ANGLE
C1	125.00'	29.12'	27.92'	S 27°02'27" E 13°22'41"
C2	162.43'	145.15'	140.37'	S 05°07'45" E 51°17'04"
C3	130.54'	185.30'	170.13'	S 23°11'58" E 81°19'50"

- Notes**
1. The purpose of this survey plat is to depict the boundary lines of Larkin Family Partnership V.290 Pg.339, V.373 Pg.97 located in the City of Hartford, VT land records. This plat is not a claim of legal title or compliance with state and local regulations.
 2. This plat is based on records researched in the city of Hartford, VT, land records and a closed loop traverse using a total station completed on 11/6/2023. Accuracy of measurements meet the standards for a urban survey and ALTA survey.
 3. Distances are shown to the hundredth of a foot and bearings are shown to the nearest second for mathematical closure purposes only.
 4. Bearings shown are in reference to Vermont State Plane established using survey grade GNSS receivers and OPUS solutions on site, at the time of survey.
 5. This Survey identifies and depicts easements, rights of way, lease lands, encroachments, etc. observed in the field or found in the public land records as disclosed by the title report issued by Rice & Riley PLLC, policy no. 179-23, October 20, 2023. This Survey does not represent a title search by Latitudes Land Surveying to determine ownership, rights-of-way, easements or other matters of public record.
 6. Map references: Slide 506A (see note 7), 684A Hartford Land Records.
 7. This plat corrects an error in the north boundary line shown on slide 506A.
 8. Parcel description constitutes a mathematically closed parcel.
 9. This plat is my faithful representation of record evidence, parcel evidence, physical site conditions at the time of survey and all other specific evidence referred to in the notes section and on the plat herein. This plat meets the requirements of VT statute title 27, chapter 17, section 1403.
 10. Monuments set are 5/8" rebar with aluminum caps "Latitudes Land Survey VT 59683 NH 1005" set in reference to existing grade as noted on plat.

Surveyor's Certificate
To: Union Bank, Gift White River HEX 121 LLC, Gift White River 91 LLC, Duffy & Sweeney, LTD., Vermont Economic Development Authority, First American Title Insurance Company, and Rice & Riley, PLLC.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 2, 3, 4, 6b, 7(a), 8, 9, 11, 13, 14, 16, 17, and 20 of Table A three of.

The field work was completed on 11/6/2023
Date of Plat 03/08/2024
Nathan O. Yager
N.L.S. # 59685



SCAN REFERENCE #
N703A20240308LarkinFamily
Partnership

ALTA/NSPS L and Title Survey
for
Larkin Family Partnership
91 & 121 Ballardvale Drive,
Hartford, Vermont

LATITUDES Land Surveying
129B Spruce Street Burlington, VT
latitudeslandsurveying.com

Date 3/8/2024
Scale 1"=40'
Project #230101
Sheet 1 of 2

Received and Recorded March 25, 2024 @ 3:30 pm Affidavit by Auber Not Town Clerk N 703A

**DRAFT
FINDINGS OF FACT
CONCLUSIONS OF LAW
AND
DECISION**

HARTFORD PLANNING COMMISSION

**Application #25-01
by Alexander and Candice DeFelice
to subdivide lot 42-0061-000
565 Maple Street, Hartford
in a R-1M zoning district**

This decision pertains to Application #25-01 by Alexander and Candice DeFelice (owners/applicants) for approval of the subdivision of lot 42-0061-000 into two lots, 565 Maple Street, Hartford, in a R-1M zoning district.

FINDINGS OF FACT

Based upon the information contained in the exhibits for this application (see attached list) and the evidence adduced at the Planning Commission meeting of January 13, 2025, the Hartford Planning Commission makes the following Findings of Fact:

1. The owners of record of lot 42-0061-000 are Alexander and Candice DeFelice who acquired the lot on 12-22-21. The deed is recorded in volume 596, page 385 of the Hartford Land Records.
2. The lot is developed with a real estate office.
3. The lot is approximately 1.31+/- acres.
4. The lot is class one (municipal water and sewer).

This Application

5. The applicants propose to subdivide the lot into two lots.

2. 25-01

6. Minimum Area and Dimensional Standards for a class 1 lot in the R-1M zoning district are:

Area (square feet)		Lot Dimensions (feet)		Setbacks (feet from property lines)		
Per Dwelling Unit	Per Lot	Width	Depth	Front	Side	Rear
4,000	8,000	60	80	10/20**	10	20

7. After the subdivision:

Lot 42-0061-000 will be approximately 1.07 acres/46,800sq. ft.

Lot 42-0061-001 will be approximately 0.23 acres/10,400 sq. ft.

8. Proposed lot 42-0061-001 will be accessed via a 30' right-of-way over lot 42-0061-000. The right-of-way will be included in the deed should either lot 42-0061-000 or 42-0061-001 transfer ownership.

The applicants understand that a Driveway Permit from the Town of Hartford is required.

9. The applicants propose to connect lot 42-0061-001 to municipal water and wastewater from Sargent Street/Barrel Avenue. To achieve this, a 20' wide utility easement over lots 42-0059-000 and 42-0060-000 is proposed. The connections will be coordinated with the Department of Public Works in compliance with the Rules and Regulations in effect at the time of construction.

The applicants understand that a Water Supply and Wastewater Disposal Permit from the State of Vermont and an Allocation from the Town of Hartford are required for the utilities.

10. The applicants have provided a site plan depicting the development of proposed lot 42-0061-001 with a single-unit dwelling and garage.

Given the proximity of the proposed dwelling and garage to the setbacks as depicted on the site plan, a Vermont Licensed Surveyor must certify the structures meet the setbacks before a Certificate of Occupancy will be issued.

11. The application is a "One-step" application under section 203-C 2 of the Subdivision Regulations.

12. The applicants understand that they retain the obligation to identify, apply for, and obtain any relevant local and state permits for this project.

13. The applicants understand that to finalize this approval they must submit a complete Zoning Permit application within 180 days of this decision, or the decision will be null and void.

The applicants understand a complete application includes:

3. 25-01

- An application for a Zoning Permit
- Application fee
- Documentation outlining how any conditions of the Planning Commission's approval have been met
- Revised plan set
- Mylar

CONCLUSIONS OF LAW

Based upon the foregoing Findings of Fact, the Hartford Planning Commission concludes that the proposed subdivision meets the requirements of the Town of Hartford Subdivision Regulations including:

Section 200-2 Hartford Subdivision Regulations:

- A. To guide future development in accordance with the Hartford Master Plan (the Plan), Zoning Regulations, Flood Hazard Area Regulations, Capital Budget and Program, and all other Town adopted bylaws, ordinances, regulations, plans, policies, and procedures.
- B. To promote a desirable relationship to the landform, its topography and geology, natural drainage and surface water runoff, surface water, and groundwater.
- C. To conserve natural resources and fragile features such as prime agricultural soils, wetlands, streams, ponds, steep slopes, ridgelines, important wildlife habitat and connectivity, and scenic views.
- D. To minimize the fragmentation of productive resource lands, including farm and forest land, and to promote their continued use and availability for agriculture, forestry, and wildlife.
- E. To maintain Hartford's historic settlement pattern, defined by compact villages surrounded by rural countryside.
- F. To encourage variety, innovation, flexibility, and greater efficiency in residential development including clustering of lots, in accordance with the provisions of 24 V.S.A. §4417 (Planned Unit Development).
- G. To establish standards of subdivision design including, but not limited to, provisions for pedestrian and vehicular traffic, surface water runoff, surface water, and suitable building sites for the land use contemplated.
- H. To ensure development does not exceed the ability of the Town to provide public services

4. 25-01

and facilities, and that these facilities and services are available and will have sufficient capacity to serve any proposed subdivision. Such facilities and services include, but are not limited to: parks, recreation areas, schools, police and fire protection, libraries, water and wastewater facilities, roads, and public parking.

- I. To provide adequate utilities such as water, wastewater, electricity, telephone, and broadband.
- J. To provide the most efficient relationship between land use and the circulation of traffic throughout the Town, encourage access management, and avoid undue traffic congestion and overburdening of roads, highways, and intersections.
- K. To promote the conservation of energy and use of renewable energy resources.
- L. To encourage variety in the type, size, and cost of housing to meet the needs of Hartford's diverse population.

DECISION

The Hartford Planning Commission, based upon the forgoing Findings of Fact and Conclusions of Law hereby Application #25-01 by Alexander and Candice DeFelice (owners/applicants) for approval of the subdivision of lot 42-0061-000 into two lots, 565 Maple Street, Hartford, in a R-1M zoning district **on the condition that:**

1. Before a zoning permit is issued to finalize this Decision:

- **References to “Annexation” are changed to “Subdivision” on the Mylar.**
- **The applicants' surveyor submits a letter to the Zoning Administrator certifying that the monuments have been set according to the locations identified on the approved survey plat.**
- **A copy of the executed and recorded utility easement(s) is submitted to the Zoning Administrator.**
- **The applicants submit a proposed deadline to bring the parking area on lot 42-0061-000 into compliance with the approved site plan for approval by the Zoning Administrator.**

2. The requirement that a Vermont Licensed Surveyor certify that the structures meet the setbacks before a Certificate of Occupancy is issued is added to the site plan in a distinct and clear manner for review by the Zoning Administrator.

5. 25-01

3. The applicants submit written verification from the Department of Public Works confirming that the application has been amended to address item #4 of Jo-Ann Ells' December 17, 2024 memo.

This decision is also subject to the condition that no modification or expansion shall be made to the project as described and limited in the above Findings of Fact and Conclusions of Law without the written approval of the Hartford Zoning Board of Adjustment and/or the Hartford Planning Commission. This decision may be revoked, and a new application or permit required if conditions and findings are violated or modified without written approval.

The applicant is responsible for insuring compliance with all applicable State and Federal regulations pertaining to this application.

Those in favor:

Those in opposition:

Those not participating:

Dated at Hartford, Vermont this ____ day of January 2025.

HARTFORD PLANNING COMMISSION

By _____
Chairperson/Vice-Chairperson

Appeal Rights: An interested person who has participated in the proceeding related to this decision has the right to appeal this decision to the Vermont Environmental Court, pursuant to 24 V.S.A. s. 4471 and V.R.E.C.P.5, in writing, within 30 days of the date of this decision. If you fail to appeal this decision, your right to challenge this decision at some future time may be lost because you waited too long. You will be bound by this decision, pursuant to 24 V.S.A. s. 4472 (d) (exclusivity of remedy; finality).

EXHIBIT LIST

1. Application #25-01
2. Survey entitled "Subdivision Plan for Alex and Candice DeFelice, Tax Map 42, lot 61, 565 Maple Street, Hartford, Vermont," prepared by Pathways Consulting, received December 20, 2024 as revised by this Decision
3. Plan set entitled "Alex and Candice DeFelice, Tax Map 42, lot 61, 565 Maple Street, Hartford, Vermont," prepared by Pathways Consulting, received December 20, 2024 as revised by this Decision including:

6. 25-01

- Existing Conditions Plan
- Site plan
- Miscellaneous Details
- Erosion and Sediment Controls Details

4. Memo from Jeffrey Goodrich dated December 19, 2024
5. Memo from Jo-Ann Ells dated December 17, 2024
6. Letter from Jeffrey Goodrich dated December 13, 2024
7. Ortho Photo



Town of Hartford

Planning Commission App # _____
Zoning Board of Adjustment App # _____

APPLICATION TO PLANNING COMMISSION &/OR ZONING BOARD OF ADJUSTMENT

PLEASE COMPLETE ALL ITEMS APPLICABLE AND PROVIDE THE CORRECT NUMBER OF COPIES OF THIS APPLICATION AND THE SITE PLAN OR SUBDIVISION PLAT. ABUTTING LANDOWNERS WILL BE NOTIFIED BY THE PLANNING/ZONING OFFICE.

1. **NAME & ADDRESS OF RECORD OWNER(S)** Alexander and Candice Defelice

225 Ozzy Lane, White River Junction, Vermont 05001

Deed Recorded Book 596 Page 385 (Available at Town Clerk's Office)

Telephone: Work 802-295-1355 Cell 603-443-3229 Email Address: alexdefelice@ymail.com

2. **NAME & ADDRESS OF APPLICANTS(S)** Alexander and Candice Defelice

25 Ozzy Lane, White River Junction, Vermont 05001

Telephone: Work 802-295-1355 Cell 603-443-3229 Email Address: alexdefelice@ymail.com

3. **NAME & ADDRESS OF APPLICANTS' CONSULTANT** Pathways Consulting, LLC

240 Mechanic Street, Lebanon, New Hampshire 03766

Telephone: Work 603-448-2200 Cell _____ Email Address: jeff.goodrich@pathwaysconsult.com

4. **PROJECT LOCATION** 565 Maple Street, Hartford, Vermont

5. **PRESENT USE OF PROPERTY** Existing Office Building

6. **BRIEFLY DESCRIBE PROJECT** (in addition, a detailed narrative must be submitted)

Subdivision of existing parcel into two separate parcels. New lot to be added to Town
water and sewer for a proposed single-family residence.

7. **PROJECT SIZE IN SQ. FT OR ACREAGE** See attached plans

Lot Width See attached plans Lot Depth See attached plans

8. **IS PROJECT ON TOWN WATER/SEWER?** Yes X No _____ If Yes, estimated

Water Consumption/day _____ Amount of Sewer Flow Projected _____

Size of Closest Lines Above (water) _____ (sewer) _____

9. **DESCRIBE LANDSCAPING PLAN** _____

10. **IF A BUSINESS** - Present # of Employees _____

Proposed Days & Hours of Operation _____

Will you use the landfill & recycling center? Yes _____ No _____

The main waste by-product of your business is: _____

11. **IF A RESTAURANT** - Present seating _____ Proposed _____
12. **PARKING SPACES** - Number to be provided _____
13. **SIGNAGE** - Free Standing _____ Attached _____
14. **FENCING** – Location _____ Height _____
15. **NEAREST WATER SUPPLY FOR FIREPROTECTION** _____ Nearest hydrant is 180 feet east of the existing driveway on Maple Street
16. **ESTIMATED VALUE OF PROPOSED WORK** _____
17. **IS THERE AN EXISTING DRIVEWAY?** Yes
18. **IF A SUBDIVISION** - Number of New Lots to be Created 1
- Do you request that the Town consider taking over maintenance of – Roads NA
- Or Park/Open Space NA

I HEREBY CERTIFY THAT THE INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. (This certification must be signed by lot owners and applicants).

<u>Alexander Detelice 12/12/2024</u> Applicant's Signature Date	<u>Alexander Detelice 12/12/2024</u> Lot Owner's Signature Date
<u>Candice Ogden 12/12/2024</u> Co-Applicant's Signature Date	<u>Candice Ogden 12/12/2024</u> Co-Owner's Signature Date

The applicant retains the obligation to identify, apply for, and obtain any relevant local or state permits before any construction may commence. Please call 802-282-6488 to speak with the State Permit Specialist.

For Office Use Only		
Map/Lot #		
Fee Paid \$:		Receipt #:
PC: Site Plan	Min. Sub.	Maj. Sub.
PD	PD Amend.	Other
ZBA: Conditional Use	Variance	Appeal
Other		
Zoning District (s)		Date Filed:
Official Submittal Date:		

PATHWAYS CONSULTING, LLC

Planning • Civil & Environmental Engineering • Surveying • Construction Assistance
240 Mechanic Street • Suite 100
Lebanon, New Hampshire 03766
(603) 448-2200 • Fax: (603) 448-1221

December 13, 2024

Jo-Ann Ells, Zoning Administrative Officer
Town of Hartford
Hartford Municipal Building, 2nd Floor, Room 201
171 Bridge Street,
White River Junction, Vermont 05001

RE: APPLICATION MATERIALS FOR A 2-LOT SUBDIVISION, 565 MAPLE STREET,
HARTFORD, VERMONT (Project No. 13445)

Dear Jo-Ann:

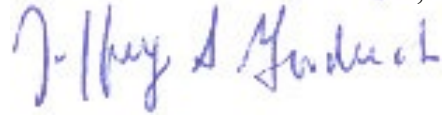
Thank you for the ongoing help to understand application requirements for subdividing the reference parcel to accommodate a residential home in addition to the existing commercial use for an ongoing real estate business. In general, the parcel consists of approximately 1.31 acres, the proposed residential parcel will include approximately 0.23-acre, a 20-foot utility easement to Sargent Street and Barrel Avenue will be needed over two parcels, and 30-foot driveway right-of-way (ROW) is proposed for access to the proposed residential parcel. With your assistance, we understand that the Town approved a site plan last revised September 25, 1996 for the Bernadette M. Young Living Trust as Exhibit 3. Since the provisions of this plan were not implemented on-site, we understand that including the parameters of this permit can limit the need for additional review (Conditional Use approval by the Zoning Board of Adjustment and Site Plan Review by the Planning Board). In this context, our plan information seeks to implement approved site plan requirements for seven parking spaces, including a handicap space. While the document you provided was not to scale, we assume it included 10 x 20 spaces without defined ADA needs. Our proposed plan includes 9 x 18 spaces with compliant ADA access to facilitate compliance with the 1996 approval of the commercial use on this property.

In addition to this cover letter, please find attached an application for subdivision, one copy of the subdivision plat and one copy of the plan set (totaling four sheets). Alex DeFelice, Jr. will give you a check to cover the application fee of \$205.00. The proposed lot will be served by municipal water and sewer services from Barrel Avenue and Sargent Street, respectively, via a proposed utility easement. We anticipate additional permitting for driveway access, utility allocations at a local level, and water and wastewater permitting with the Vermont Agency of Natural Resources.

Please let us know if you have any questions related to these application materials. We look forward to addressing staff review comments for the project and meeting with the Planning Commission for review.

Sincerely,

PATHWAYS CONSULTING, LLC



Jeffrey S. Goodrich, P.E.
President

JSG:meb

Enclosures

ZONING INFORMATION:

SUBJECT PROPERTY CONTAINED WITHIN TOWN OF HARTFORD, VERMONT RESIDENTIAL ONE, MULTI-FAMILY (R1M) ZONING DISTRICT AND IS SUBJECT TO ALL APPLICABLE TOWN ZONING CODES, REGULATIONS, AND ORDINANCES. THIS LOT IS CLASSIFIED AS CLASS 1 HAVING BOTH PUBLIC WATER AND SEWER.

TOWN OF HARTFORD ZONING REGULATIONS*

RESIDENTIAL ONE, MULTI-FAMILY (R1M) ZONING DISTRICT (CLASS 1)

CLASS	MIN. AREA PER DWELLING UNIT	MIN. AREA PER LOT	MIN. WIDTH	MIN. DEPTH
1	4,000 SQ. FT.	8,000 SQ. FT.	60 FT.	80 FT.

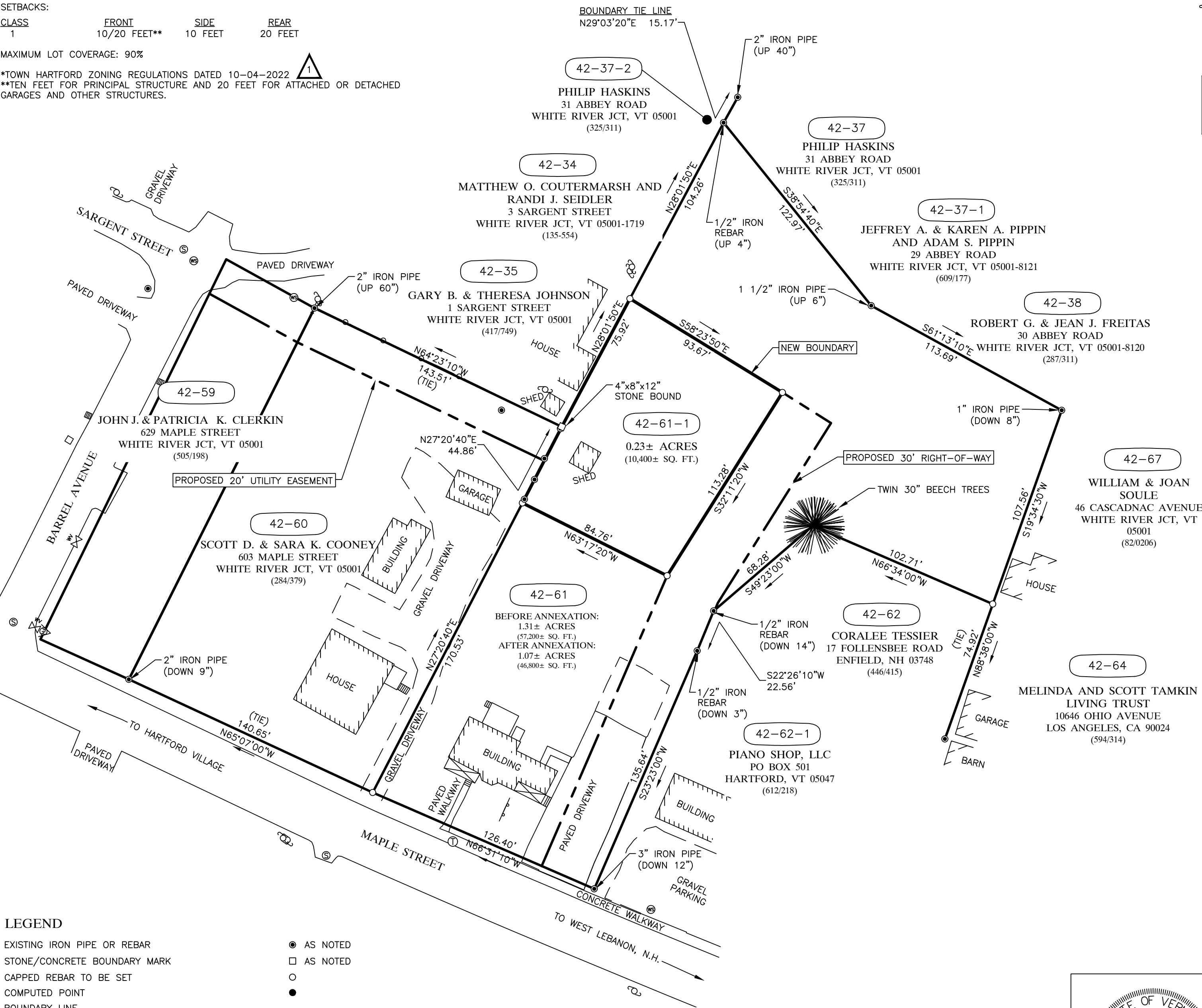
SETBACKS:

CLASS	FRONT	SIDE	REAR
1	10/20 FEET**	10 FEET	20 FEET

MAXIMUM LOT COVERAGE: 90%

*TOWN HARTFORD ZONING REGULATIONS DATED 10-04-2022

**TEN FEET FOR PRINCIPAL STRUCTURE AND 20 FEET FOR ATTACHED OR DETACHED GARAGES AND OTHER STRUCTURES.



LEGEND

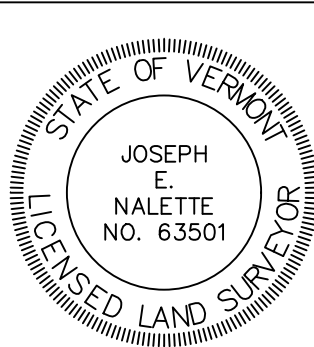
EXISTING IRON PIPE OR REBAR
STONE/CONCRETE BOUNDARY MARK
CAPPED REBAR TO BE SET
COMPUTED POINT
BOUNDARY LINE
RIGHT-OF-WAY
FENCE-CHAIN LINK
EDGE GRAVEL
UTILITY POLE/GUY WIRE
DEED REFERENCE
TAX MAP/LOT NO.

AS NOTED
AS NOTED
O
●
12-122

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND ABILITY THAT A VERMONT RURAL CLASS SURVEY WAS PERFORMED ON THE PROPERTY SHOWN HEREON. THIS SURVEY IS BASED ON THE FIELD NOTES OF SAID SURVEY AND THE BOUNDARY LINES ARE CONSISTENT WITH EXISTING MONUMENTATION AND THE REFERENCED DEEDS AND PLANS EXCEPT AS NOTED. I FURTHER CERTIFY THIS PLAT CONFORMS TO 27 VSA 1403 (a) AND (b).

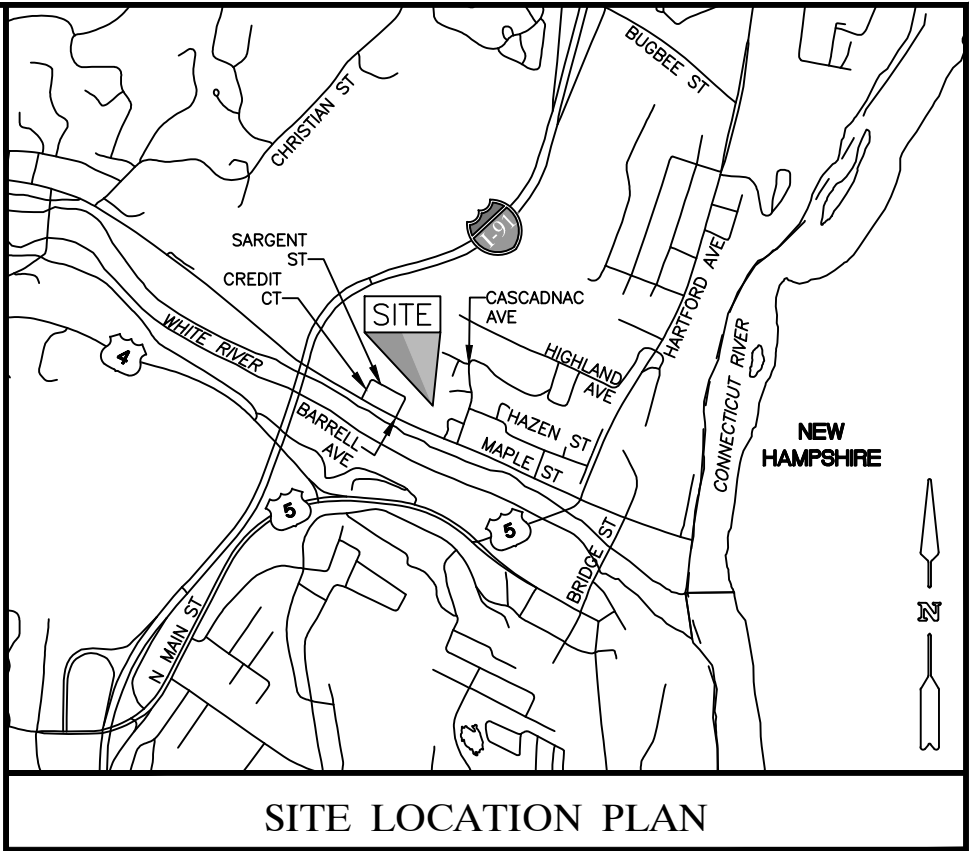
12/16/24
DATE

JOSEPH E. NALETTE, LLS 63501



JOSEPH E. NALETTE, LLS 63501

NAD83-VT GRID (FEET)



SITE LOCATION PLAN

PLANS OF REFERENCE:

1. THE FOLLOWING PLANS ARE RECORDED AT THE HARTFORD TOWN CLERK'S OFFICE:

- ENTITLED "PLANNED DEVELOPMENT FOR ANDREW C. & CATHERINE M. LORY," DATED JULY 10, 1989, PREPARED BY HATHORN SURVEYS, PROJECT NO. 59089.
- ENTITLED "SUBDIVISION FOR DWIGHT E. JR & CAROL L. HARDY," DATED FEBRUARY 11, 1994, PREPARED BY HATHORN SURVEYS, PROJECT NO. 87794.
- ENTITLED "PROPERTY OF EDWARD PIPPIN, 69 1/2 MAPLE STREET, HARTFORD VT," DATED OCTOBER 16, 1978, PREPARED BY R.G. HATHORN, PROJECT NO. 78118.
- ENTITLED "SURVEY FOR EDWARD PIPPIN, CASCADNAC AVE., HARTFORD, VT," DATED AUGUST 19, 1987, PREPARED BY HATHORN SURVEYS, PROJECT NO. 43087.
- SLIDE 648, ENTITLED "HOMESTEAD LOT SHOWING PARCEL SOLD TO CLYDE DENSMOTE BEING LOTS NUMBERED 15-16-18," DATED OCTOBER 11, 1956, PREPARED BY ARTHUR W. STONE.
- SLIDE HB-4-60, ENTITLED "BUCHANAN PROPERTY, 7 CASCADNAC PLACE, WHITE RIVER JUNCTION, VT," DATED APRIL 1, 1976, PREPARED BY THE GRATIOT ENGINEERING COMPANY, PROJECT NO. 47-087.
- SLIDE HB-4-55, ENTITLED "BUCHANAN PROPERTY, 7 CASCADNAC PLACE, WHITE RIVER JUNCTION, VT," DATED FEBRUARY 15, 1973, PREPARED BY THE GRATIOT ENGINEERING COMPANY, PROJECT NO. 47-089.

THIS PLAT IS APPROVED SUBJECT TO THE FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION FOR THIS SUBDIVISION. A COPY OF WHICH IS ON FILE IN THE HARTFORD DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES.

APPROVAL NO. _____ HARTFORD PLANNING COMMISSION
DATE: _____ BY: _____ CHAIRPERSON/VICE CHAIRPERSON

GENERAL SURVEY NOTES:

- HORIZONTAL DATUM: VT STATE PLANE GRID NAD83 (SURVEY FEET) FROM GPS OBSERVATION.
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) FROM GPS OBSERVATION.
- UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT WARRANTED TO BE EXACT OR COMPLETE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR SITE MODIFICATIONS.
- PATHWAYS CONSULTING, LLC COLLECTED DATA FOR THIS PLAN IN OCTOBER 2024.

RECORD OWNER: ALEXANDER & CANDICE DEFELICE
MAP 42, LOT 61 225 OZZY LANE
WHITE RIVER JCT, VT 05001

DEED REFERENCE: BOOK 596, PAGE 385

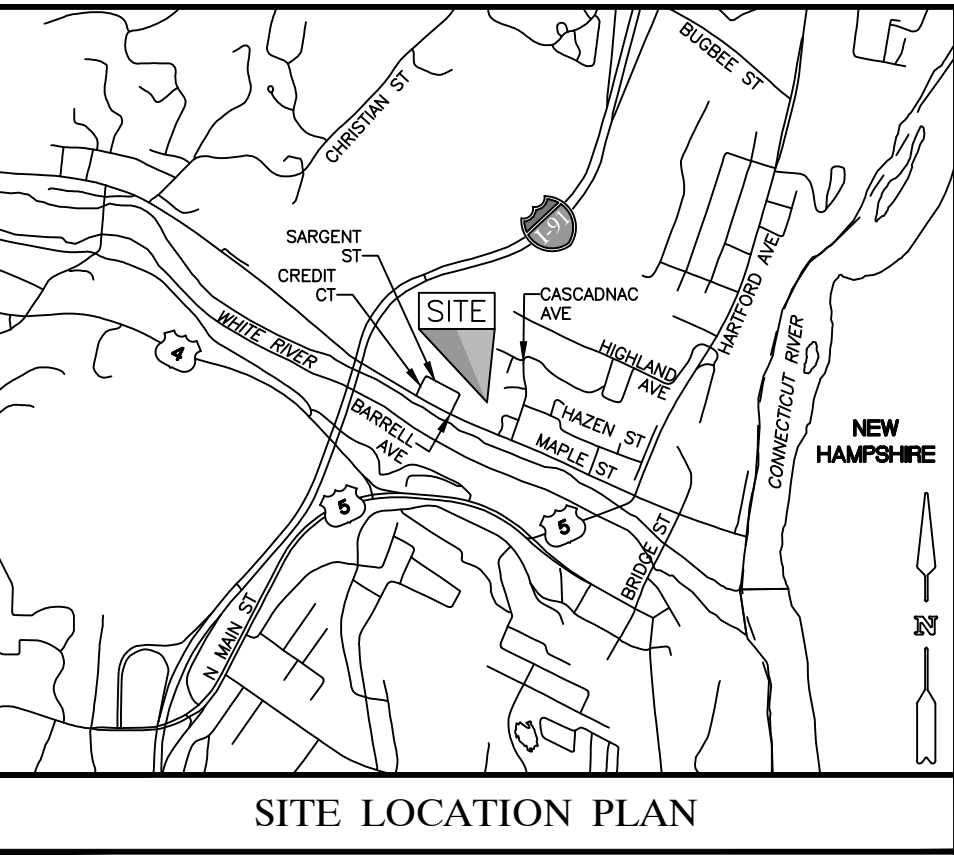
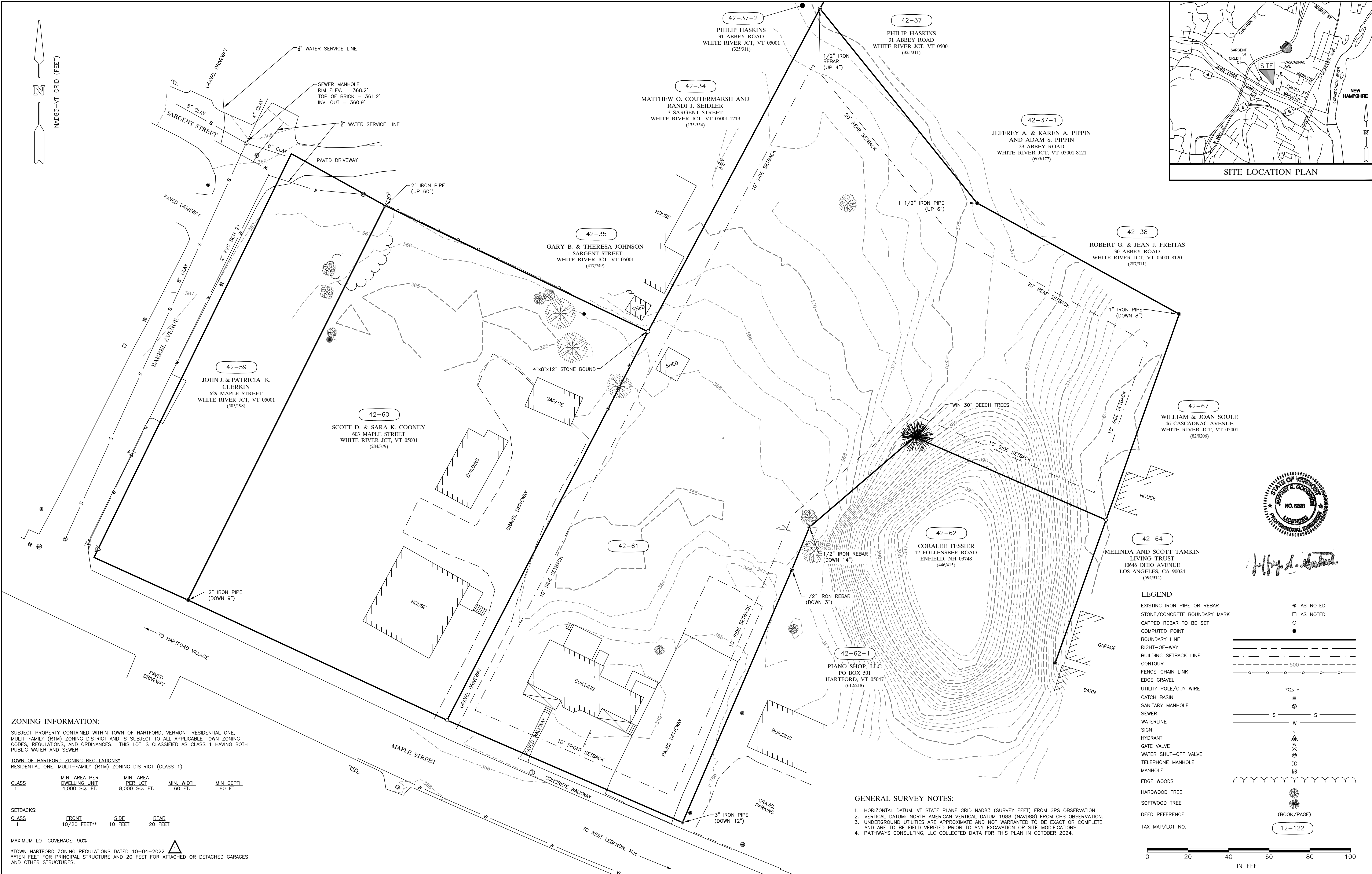
Date	Revision	By
12-19-24	TOWN OF HARTFORD STAFF COMMENTS	DAS

SUBDIVISION PLAN FOR
ALEX & CANDICE DEFELICE
(TAX MAP 42, LOT 61)

565 MAPLE STREET, HARTFORD, VERMONT

0 40 80 120 160 200
DECEMBER 16, 2024 SCALE: 1"= 40' PROJ. NO. 13445

PATHWAYS CONSULTING, LLC
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766



ZONING INFORMATION:

SUBJECT PROPERTY CONTAINED WITHIN TOWN OF HARTFORD, VERMONT RESIDENTIAL ONE, MULTI-FAMILY (R1M) ZONING DISTRICT AND IS SUBJECT TO ALL APPLICABLE TOWN ZONING CODES, REGULATIONS, AND ORDINANCES. THIS LOT IS CLASSIFIED AS CLASS 1 HAVING BOTH PUBLIC WATER AND SEWER.

TOWN OF HARTFORD ZONING REGULATIONS*
RESIDENTIAL ONE, MULTI-FAMILY (R1M) ZONING DISTRICT (CLASS 1)

CLASS	MIN. AREA PER DWELLING UNIT 4,000 SQ. FT.	MIN. AREA PER LOT 8,000 SQ. FT.	MIN. WIDTH 60 FT.	MIN. DEPTH 80 FT.
1				

SETBACKS:	FRONT	SIDE	REAR
CLASS 1	10/20 FEET**	10 FEET	20 FEET

MAXIMUM LOT COVERAGE: 90%

*TOWN HARTFORD ZONING REGULATIONS DATED 10-04-2022
**TEN FEET FOR PRINCIPAL STRUCTURE AND 20 FEET FOR ATTACHED OR DETACHED GARAGES AND OTHER STRUCTURES.

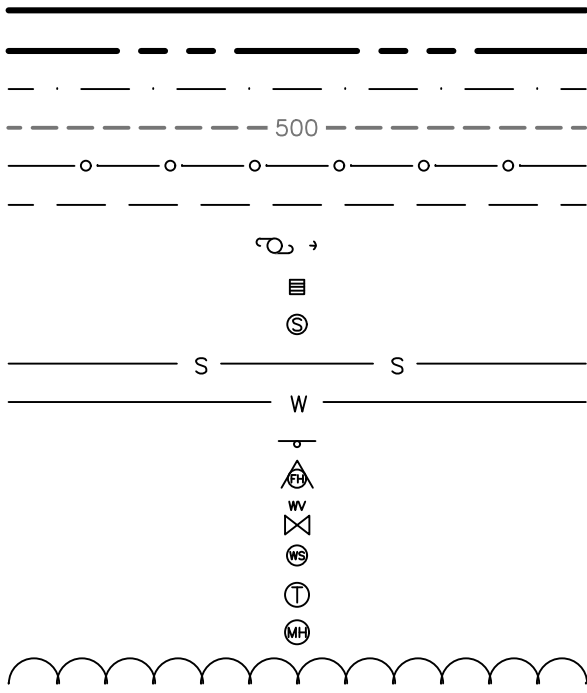
GENERAL SURVEY NOTES:

- HORIZONTAL DATUM: VT STATE PLANE GRID NAD83 (SURVEY FEET) FROM GPS OBSERVATION.
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) FROM GPS OBSERVATION.
- UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT WARRANTED TO BE EXACT OR COMPLETE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR SITE MODIFICATIONS.
- PATHWAYS CONSULTING, LLC COLLECTED DATA FOR THIS PLAN IN OCTOBER 2024.

LEGEND

- EXISTING IRON PIPE OR REBAR
STONE/CONCRETE BOUNDARY MARK
CAPPED REBAR TO BE SET
COMPUTED POINT
BOUNDARY LINE
RIGHT-OF-WAY
BUILDING SETBACK LINE
CONTOUR
FENCE-CHAIN LINK
EDGE GRAVEL
UTILITY POLE/GUY WIRE
CATCH BASIN
SANITARY MANHOLE
SEWER
WATERLINE
SIGN
HYDRANT
GATE VALVE
WATER SHUT-OFF VALVE
TELEPHONE MANHOLE
MANHOLE
EDGE WOODS
HARDWOOD TREE
SOFTWOOD TREE
DEED REFERENCE
TAX MAP/LOT NO.

- AS NOTED
- AS NOTED
-
-



(BOOK/PAGE)
12-122



REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY
1	12-19-24	TOWN OF HARTFORD STAFF COMMENTS	DAS	JSG	JSG

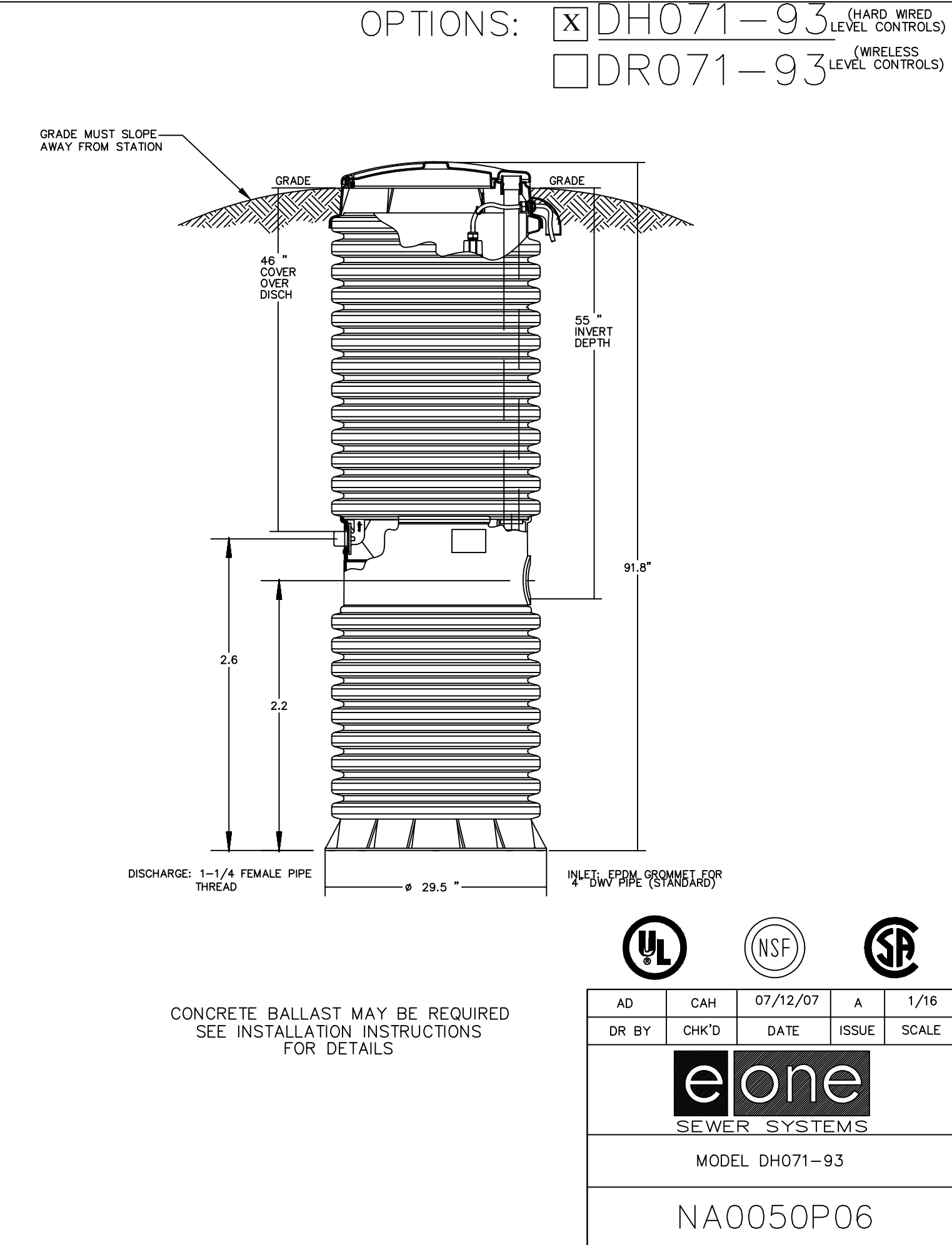
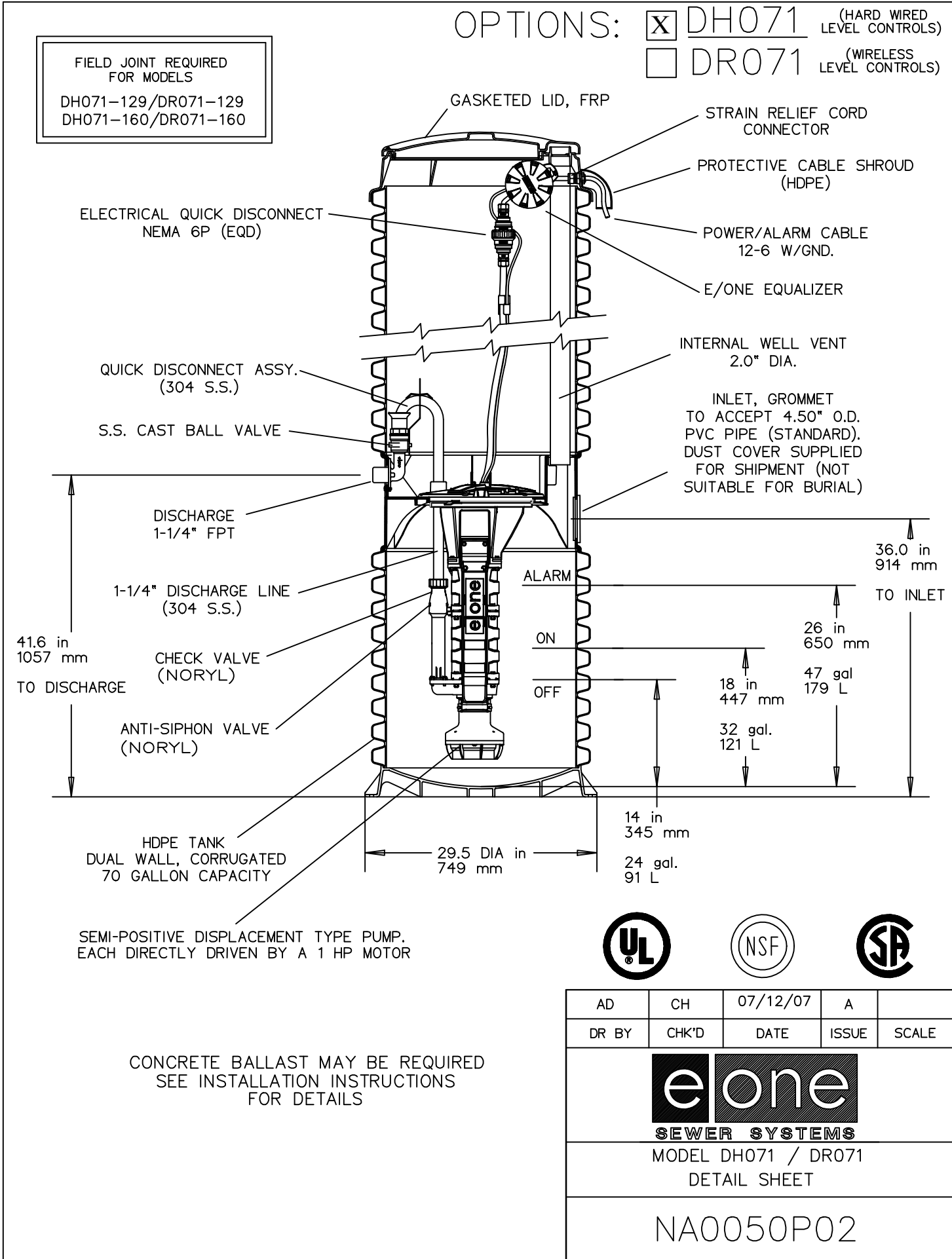
EXISTING CONDITIONS PLAN FOR
ALEX & CANDICE DEFELICE
(TAX MAP 42, LOT 61)
565 MAPLE STREET, HARTFORD, VERMONT

PATHWAYS CONSULTING, LLC

240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: AS SHOWN
DESIGNED BY: DAS
DRAWN BY: DAS
CHECKED BY: JSG
DATE: 12-16-24
PROJ. NO. 13445

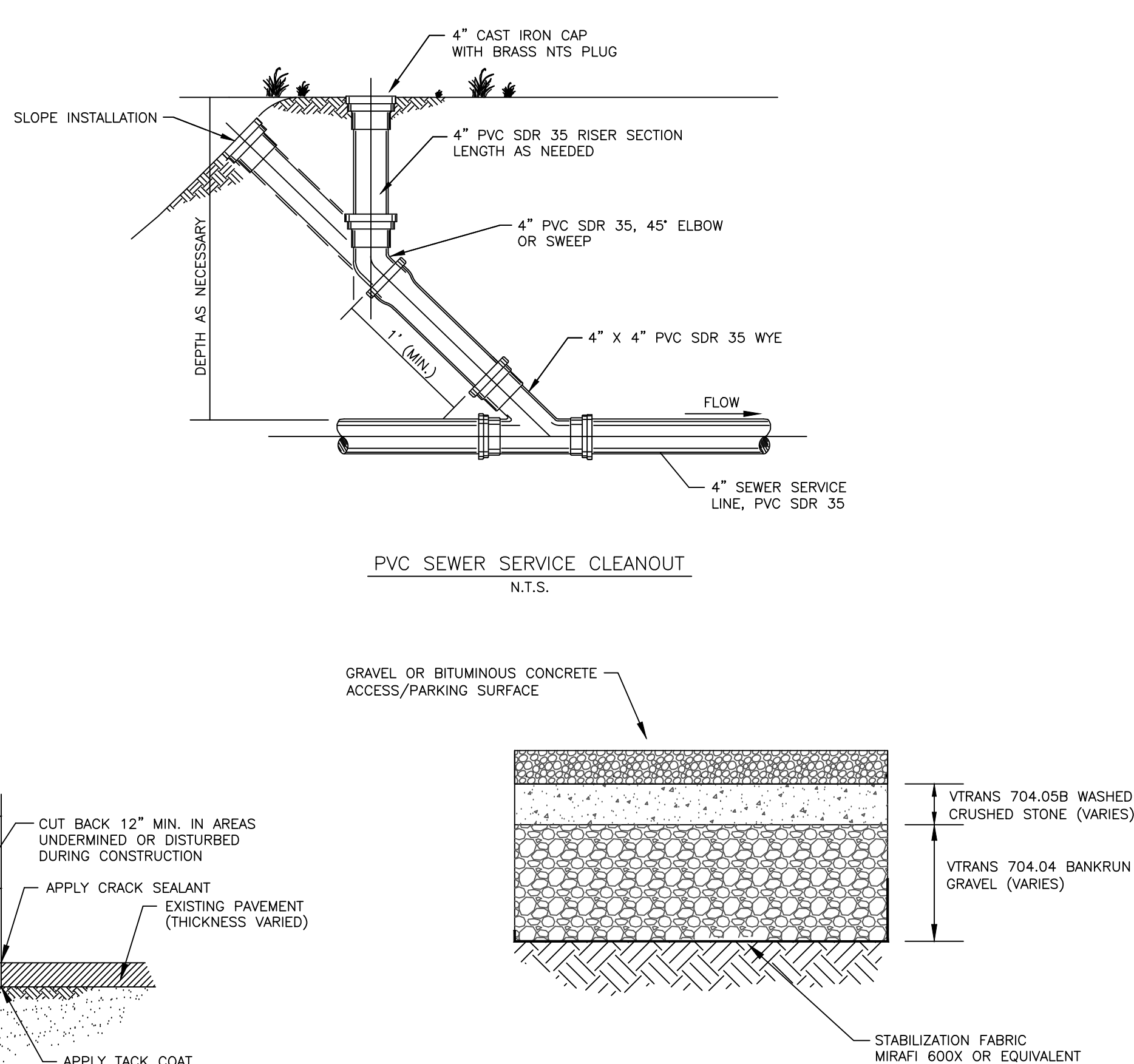
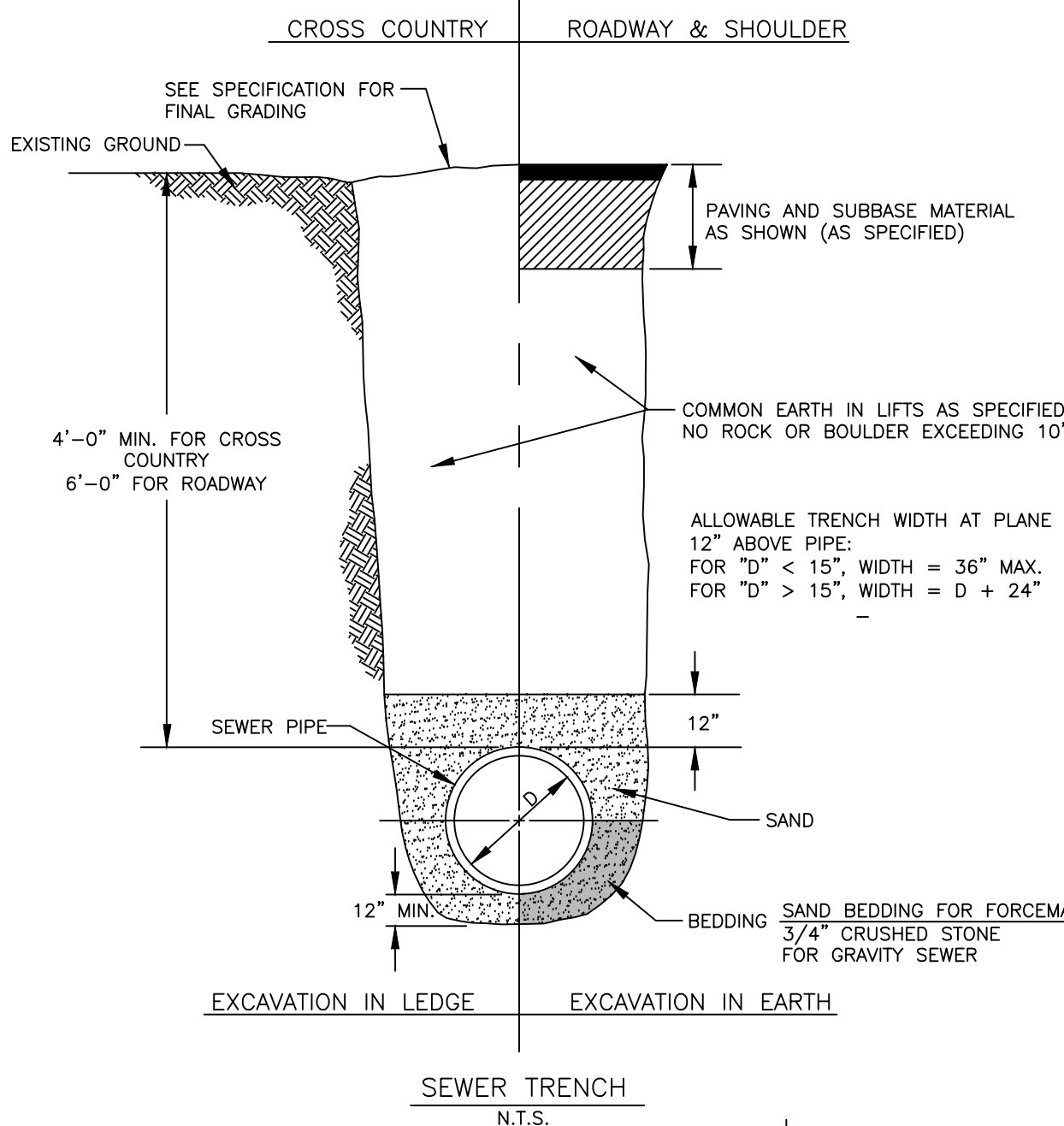
1
SHEET 1 OF 4



NOTE: PUMP DETAIL & PUMP STATION DETAIL PROVIDED MANUFACTURER'S REPRESENTATIVE BY
F.R. MAHONEY & ASSOCIATES, INC ROCKLAND, MA..

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED DRAWINGS, SPECIFICATIONS, AND ANY ISSUED ADDENDA.
- THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS ON THIS PROJECT SHALL BE SUBMITTED FOR APPROVAL TO THE ENGINEER PRIOR TO ORDERING.
- A DIRECTIONAL DRILLING PLAN (ANTICIPATED PIT LOCATIONS) SHALL BE SUBMITTED FOR REVIEW PRIOR TO THE START OF CONSTRUCTION. ALL DRILLING SHALL BE IN ACCORDANCE WITH NHDES RULES AND PROPER PRECAUTIONS SHALL BE TAKEN TO PREVENT FRAC OUT.
- WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSION. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- ALL STRUCTURES, PIPELINES, AND UTILITY POLES LOCATED ADJACENT TO THE TRENCHING OR EXCAVATION WORK SHALL BE PROTECTED AND FIRMLY SUPPORTED BY THE CONTRACTOR UNTIL WORK IS BACKFILLED. DAMAGE TO ANY SUCH STRUCTURE CAUSED BY OR RESULTING FROM THE CONTRACTORS OPERATIONS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. ALL UTILITIES REQUIRING REPAIR, RELOCATION, OR ADJUSTMENT AS A RESULT OF THE PROJECT SHALL BE COORDINATED THROUGH THE OWNER.
- OPEN TRENCHES IN THE ROADWAY MUST BE BACKFILLED AT THE END OF EACH WORKDAY, UNLESS PERMISSION TO COVER THEM IS PROVIDED BY THE OWNER FOR THE PRIVATE DRIVEWAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS PREPARED BY PATHWAYS CONSULTING, LLC, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR OWNERS REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), LOCAL REGULATIONS, AND/OR THE BOARD OF LABOR.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE PROJECT AREA AND ALL EXISTING CONDITIONS SURROUNDING IT THEREON.
- THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION IF THERE ARE ANY DISCREPANCIES IN PLANS OR EXISTING DATA. CONSTRUCTION SHALL NOT PROCEED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH EXISTING CONTROL POINTS TO ESTABLISH THE CONSTRUCTION BASELINE. THE POINTS TO BE PROVIDED ARE INCLUDED WITH THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REESTABLISHING THESE POINTS FOR THE DURATION OF THE PROJECT. CONTROL POINT AND BENCHMARK ACCURACY WAS CONFIRMED AT THE TIME OF THE SURVEY AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THESE POINTS PRIOR TO USING THEM FOR CONSTRUCTION OR RECORDING RECORD INFORMATION. IF THE CONTRACTOR FINDS ANY POINT PROVIDED TO BE INACCURATE, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY IN WRITING. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR LAYOUT OF THE WORK AT THE PROJECT SITE.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR WORK COMPLETED BY THE CONTRACTOR.
- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. CONTRACTOR SHALL CONNECT OR RECONNECT ALL UTILITIES TO THE NEAREST SOURCE THROUGH COORDINATION WITH THE UTILITY OWNER. EXPLORATORY EXCAVATION SHALL BE REQUIRED TO VERIFY LOCATION AND SIZE OF UTILITIES AND APPURTENANCES.
- THE CONTRACTOR SHALL NOT DISTURB ANY EXISTING UTILITY SERVICE (PRIVATE OR PUBLIC WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. THE CONTRACTOR SHALL PLAN AHEAD AND NOTIFY UTILITY OWNERS 72 HOURS IN ADVANCE OF PLANNED WORK.
- THE ENGINEER SHALL BE NOTIFIED OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION AGREED TO BY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG-SAFE" (886-DIG-SAFE) AT LEAST ONE WEEK PRIOR TO PLANNED EXCAVATION. DIG-SAFE WILL NOT MARK PRIVATE UTILITIES, IN WHICH CASE A PRIVATE LOCATING COMPANY IS RECOMMENDED TO BE UTILIZED BY THE CONTRACTOR TO MARK ON-SITE PRIVATE UTILITIES.
- ALL SEWER WORK ON THIS PROJECT MUST BE IN ACCORDANCE WITH NHDES STANDARDS. THE TAPPING SADDLE INTENDED FOR USE WITH THE SERVICE CONNECTION MUST BE APPROVED BY THE HARTFORD DEPARTMENT OF PUBLIC WORKS ONE WEEK PRIOR TO THE INTENDED INTERCONNECTION. ALL MANHOLES SHALL BE SEALED AND VACUUM TESTED IN ACCORDANCE WITH NHDES STANDARDS. THE ENGINEER SHALL OBSERVE ALL TESTING.
- ALL SOIL/AGGREGATE MATERIALS REFERENCED IN THESE DRAWINGS MUST BE IN ACCORDANCE WITH VTRANS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION UNLESS AMENDED BY THE ENGINEER IN DISTRIBUTED PROJECT SPECIFICATIONS.
- AN OPERATIONS AND MAINTENANCE MANUAL SHALL BE PREPARED BY THE CONTRACTOR AT COMPLETION OF WORK AND DELIVERED TO THE OWNER PRIOR TO FINAL ACCEPTANCE. THE OPERATIONS AND MAINTENANCE MANUAL SHALL CONTAIN CUT SHEETS FOR ALL ITEMS INSTALLED WITH THE FOREMAN, DATES OF INSTALLATION, WARRANTIES, CONTACT INFORMATION FOR SUPPLIERS, EMERGENCY NUMBERS FOR PUBLIC WORKS, EMERGENCY NUMBERS FOR VERMONT AGENCY OF NATURAL RESOURCES, EMERGENCY NUMBERS FOR VTRANS, AND ALL WORKING DIRECTIONS MANUALS FOR MAJOR COMPONENTS.
- THE CONTRACTOR COMPLETING WORK ON THIS PROJECT SHALL WARRANTY ALL WORK FOR ONE YEAR FROM FINAL ACCEPTANCE BY THE OWNER.
- THIS PROJECT CONTAINS WORK WITHIN THE NHDES JURISDICTIONAL PROTECTED SHORELAND. CONTRACTOR MUST BECOME FAMILIAR WITH CONDITIONS OF PERMIT AND LIMITS OF DISTURBANCE APPLICABLE TO THIS PROJECT. ANY PERMIT VIOLATIONS BY NEGLIGENCE OF THE CONTRACTOR SHALL BE CORRECTED IN ACCORDANCE WITH THE TOWN OF HARTFORD AND/OR THE STATE OF VERMONT DIRECTION AND AT THE CONTRACTORS EXPENSE.



WATER TESTING
(PER TOWN OF HARTFORD, VERMONT CODE)

- THE CONTRACTOR SHALL TEST ALL INSTALLED PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA C600, EXCEPT AS AMENDED OR ADDED BELOW:
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR ANY AND ALL REQUIRED PIPE TAPS FOR TESTING, AND AS NECESSARY FOR TESTING AS SPECIFIED.
 - A PRESSURE TEST AND LEAKAGE TEST ARE REQUIRED FOR ALL PIPE.
 - WATER TO BE FURNISHED BY THE OWNER.
 - TESTING REQUIREMENTS:
 - TEST DURATION: TWO HOURS.
 - TEST PRESSURE: 150% OF MAXIMUM OPERATING PRESSURE AS DETERMINED BY THE WATER SUPERINTENDENT OR HIS AUTHORIZED AGENT.
 - ALLOWABLE PRESSURE LOSS: PRESSURE SHALL NOT VARY MORE THAN ± 5 PSI FOR THE DURATION OF THE PRESSURE TEST.
 - ALLOWABLE LEAKAGE: ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{SD4P}{133200}$$

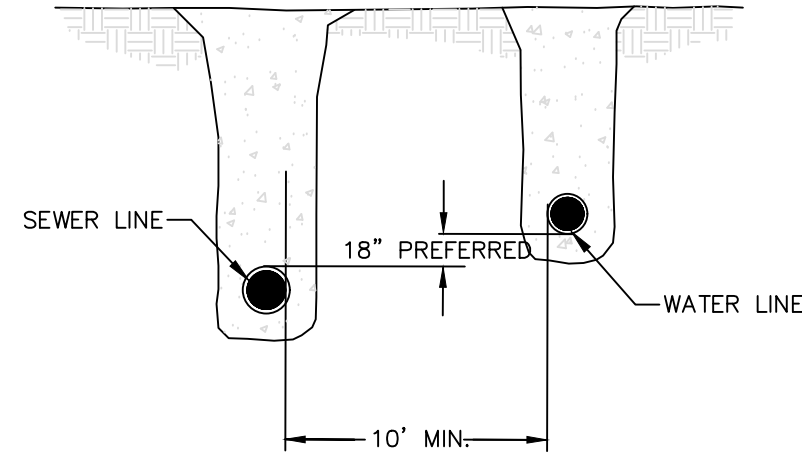
L = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR.
S = LENGTH OF PIPE TESTED, IN FEET.
D = NOMINAL PIPE DIAMETER, IN INCHES.
P = AVERAGE TEST PRESSURE, IN PSI (GAUGE).

- ALLOWABLE LEAKAGE IN GALLON PER HOUR PER 1,000 FEET OF PIPELINE CAN BE DETERMINED FROM THE FOLLOWING CHART.

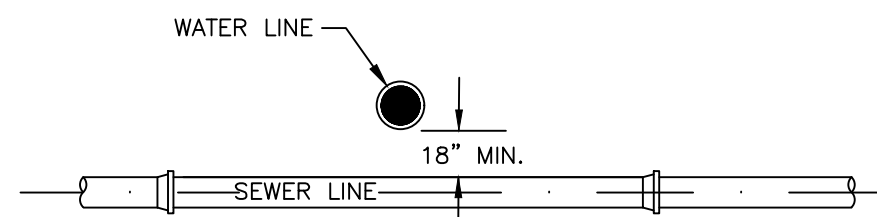
AVERAGE TEST PRESSURE (PSI)	ALLOWABLE LEAKAGE											
	NOMINAL PIPE DIAMETER (INCHES)											
	3	4	6	8	10	12	14	16	18	20	24	
450	0.48	0.64	0.95	1.27	1.59	1.91	2.23	2.55	2.87	3.18	3.82	
400	0.45	0.60	0.90	1.20	1.50	1.80	2.10	2.40	2.70	3.00	3.60	
350	0.42	0.56	0.84	1.12	1.40	1.69	1.97	2.25	2.53	2.81	3.37	
300	0.39	0.52	0.78	1.04	1.30	1.56	1.82	2.08	2.34	2.60	3.12	
275	0.37	0.50	0.75	1.00	1.24	1.49	1.74	1.99	2.24	2.49	2.99	
250	0.36	0.47	0.71	0.95	1.19	1.42	1.66	1.90	2.14	2.37	2.85	
225	0.34	0.45	0.68	0.90	1.13	1.35	1.58	1.80	2.03	2.25	2.70	
200	0.32	0.43	0.64	0.85	1.06	1.28	1.48	1.70	1.91	2.12	2.55	
175	0.30	0.40	0.59	0.80	0.99	1.19	1.39	1.59	1.79	1.98	2.38	
150	0.28	0.37	0.55	0.74	0.92	1.10	1.29	1.47	1.66	1.84	2.21	
125	0.25	0.34	0.50	0.67	0.84	1.01	1.18	1.34	1.51	1.68	2.01	
100	0.23	0.30	0.45	0.60	0.75	0.90	1.05	1.20	1.35	1.50	1.80	

DISINFECTING WATER MAINS
(PER TOWN OF HARTFORD, VERMONT CODE)

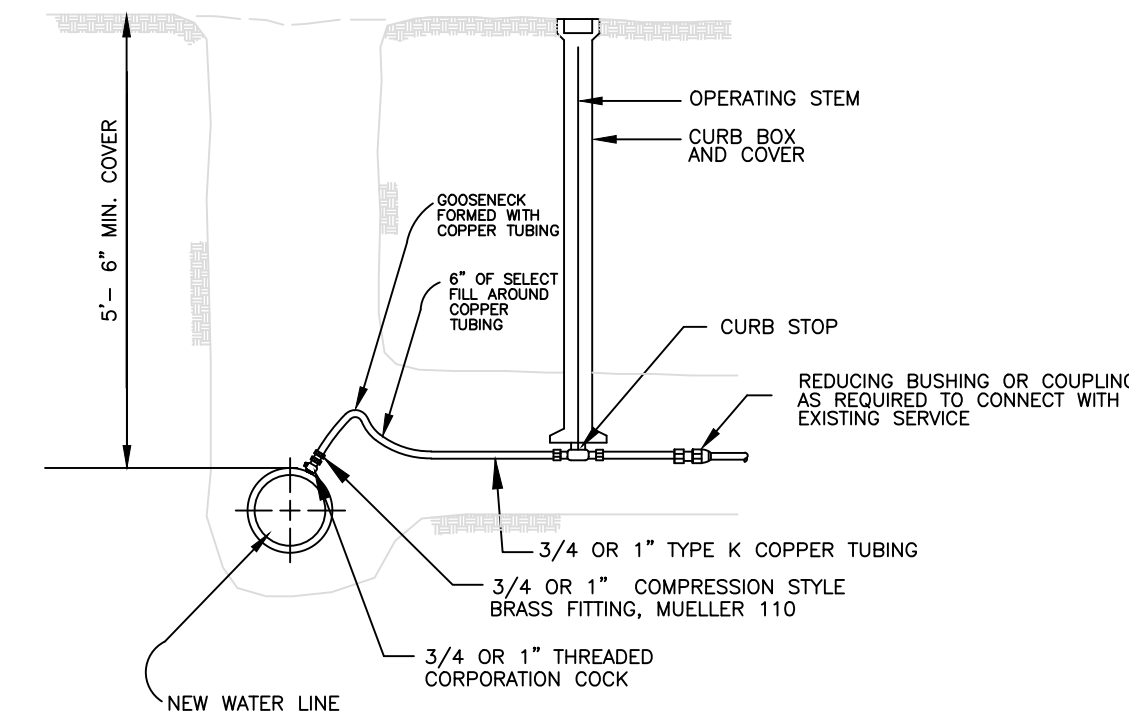
- DISINFECTING WATER MAINS.
 - THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT (WATER TO BE FURNISHED BY THE OWNER), AS NECESSARY TO COMPLETE DISINFECTING THE MAINS, AS SPECIFIED HEREIN; INCLUDING INSTALLATION OF PIPE TAPS NECESSARY FOR CHLORINATION OR TAKING SAMPLES AND INCLUDING PAYING FOR ALL BACTERIOLOGICAL TESTING BY AN APPROVED INDEPENDENT LABORATORY.
 - THE CONTRACTOR SHALL DISINFECT ALL INSTALLED WATER MAINS IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA C651, EXCEPT AS AMENDED OR ADDED BELOW:
 - DISCUSS THE PROCEDURE WITH THE WATER SUPERINTENDENT OR HIS AUTHORIZED AGENT AND OBTAIN APPROVAL BEFORE DOING THE WORK.
 - ALL NEWLY INSTALLED WATER MAINS SHALL BE FLUSHED AT A MINIMUM VELOCITY OF 2.5 FT/SEC BEFORE AND AFTER DISINFECTION.
 - FORM OF CHLORINE: CALCIUM HYPOCHLORITE GRANULES OR SODIUM HYPOCHLORITE SOLUTION.
 - METHOD OF CHLORINE APPLICATION: CONTINUOUS FEED METHOD OR SLUG METHOD.



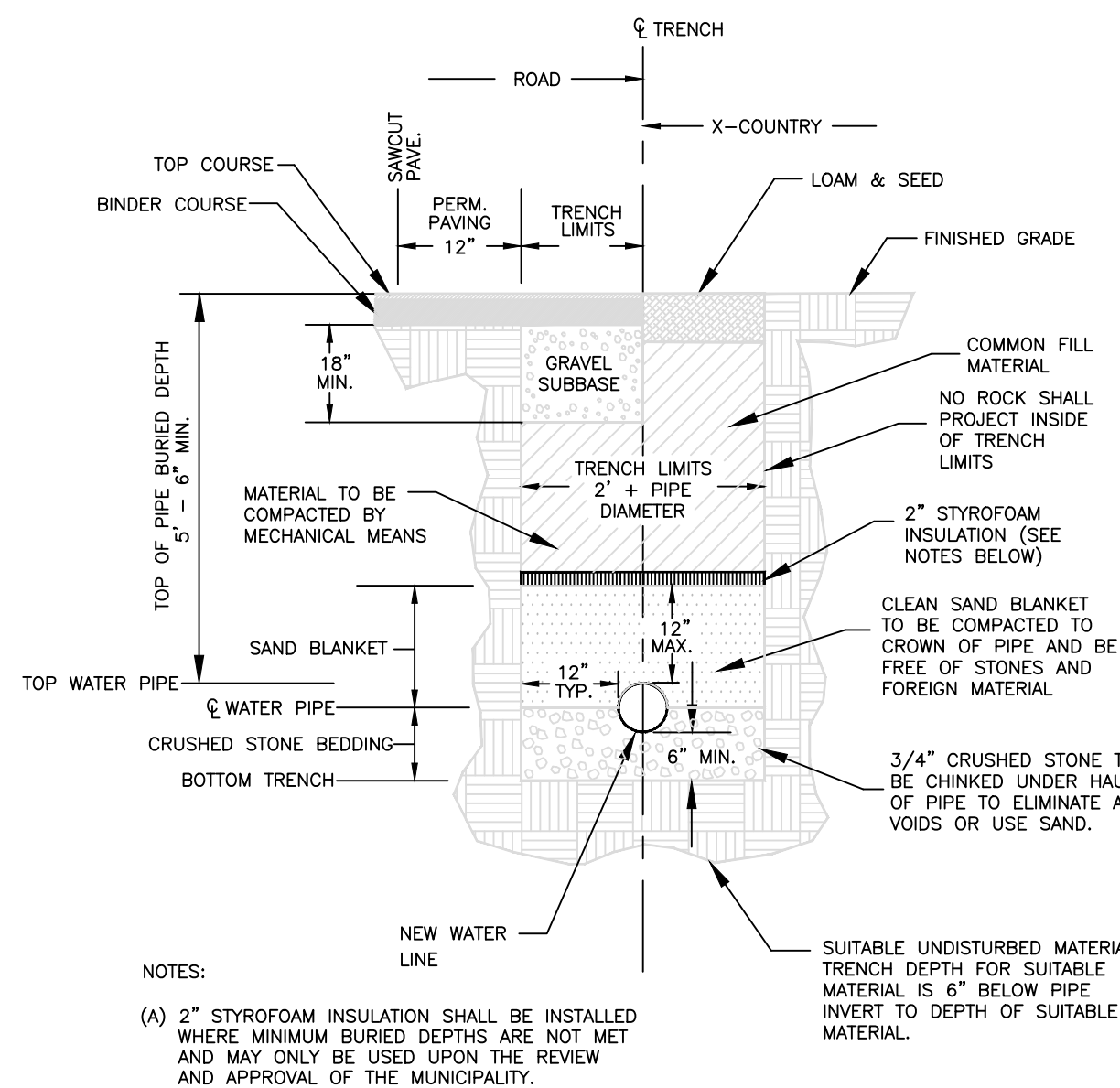
TYPICAL SEWER-WATER PARALLEL INSTALLATION
N.T.S.



TYPICAL SEWER-WATER CROSSOVER
N.T.S.



TYPICAL WATER SERVICE CONNECTION
N.T.S.



TYPICAL WATER PIPE TRENCH CROSS SECTION VIEW
N.T.S.



MISCELLANEOUS DETAILS FOR
ALEX & CANDICE DEFELICE
(TAX MAP 42, LOT 61)
565 MAPLE STREET, HARTFORD, VERMONT

PATHWAYS CONSULTING, LLC

240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: AS SHOWN
DESIGNED BY: DAS
DRAWN BY: DAS
CHECKED BY: JSG
DATE: 12-16-24
PROJ. NO. 13445

SHEET 3 OF 4

EROSION AND SEDIMENT CONTROL SPECIFICATIONS

- SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL AND THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL.
- RECOGNIZING THAT IMMEDIATE ATTENTION TO EROSION CONTROL PRACTICES DRAMATICALLY IMPROVES SOIL AND MOISTURE CONSERVATION AND REDUCES NEGATIVE IMPACTS ON WATER QUALITY, THE CONTRACTOR SHALL GIVE HIGH PRIORITY TO THE DAILY AND TIMELY INSTALLATION OF BOTH TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES. IMMEDIATE INSTALLATION OF PRACTICES USUALLY REDUCES LONG TERM COSTS TO THE CONTRACTOR AND PROVIDES BENEFITS TO THE DEVELOPER AND THE PUBLIC GOOD.
- EROSION CONTROL PRACTICES ARE SHOWN ON THE PLANS WITH RESPECT TO LOCATION AS DETERMINED FROM EXISTING TOPOGRAPHY. CHANGES MAY BE INDICATED IN THE FIELD TO IMPROVE EROSION AND SEDIMENT CONTROL.
- CONSTRUCTION SHALL PROCEED UNIT BY UNIT TO FACILITATE INSTALLATION OF EROSION CONTROL MEASURES AND THE COMPLETION OF GRADING, SEEDING, AND LANDSCAPING AS SOON AS POSSIBLE WITHIN A UNIT. THIS PROCEDURE SHOULD RESULT IN THE EXPOSURE OF THE SMALLEST PRACTICAL LAND AREA AT ANY ONE TIME.
- AREAS ADJACENT TO STREAMS CALL FOR PARTICULAR ATTENTION WITH REGARD TO SILT INTERCEPTION. INSTALL SILT FENCES AS SHOWN ON PLAN AND IN DETAIL BEFORE EARTHWORK COMMENCES. ADDITIONAL FENCING MAY BE REQUIRED AS WORK CONTINUES.
- INSTALL CHECK DAMS AS SHOWN. INSPECT AND MAINTAIN ON A DAILY BASIS. CLEAN ACCUMULATED SEDIMENT AS NECESSARY. LEAVE IN PLACE UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- CUT AND FILL SLOPES BOTH CALL FOR INTENSIVE EROSION CONTROL MEASURES.
- ALL DISTURBED AREAS SHALL HAVE TOPSOIL SPREAD (4" MINIMUM) AND BE LIMED, FERTILIZED, TILLED, SEEDED AND MULCHED. ALL SLOPES 3:1 (1 RISE ON 3 RUN) AND STEEPER SHALL HAVE MULCH HELD IN PLACE WITH BIODEGRADABLE (NOT PHOTO-BIODEGRADABLE) JUTE NETTING STAPLED AND STAKED. EACH AREA SHALL BE FERTILIZED, PREPARED, SEEDED AND MULCHED (WITH ANCHORED NETTING IF REQUIRED) WITHIN 72 HOURS OF FINAL GRADING. WHEN PERMANENT SEEDING CANNOT BE INSTALLED BY SEPTEMBER 15, TEMPORARY SEEDING AND MULCHING OF ALL DISTURBED AREAS SHALL BE INSTALLED IMMEDIATELY AND MAINTAINED IN THAT CONDITION UNTIL PERMANENT PRACTICES CAN BE INSTALLED IN THE FOLLOWING PLANTING SEASON.
- TEMPORARY SEEDING AND MULCHING OF ALL DISTURBED AREAS SHALL BE INSTALLED IMMEDIATELY AND MAINTAINED IN THAT CONDITION UNTIL PERMANENT PRACTICES CAN BE INSTALLED. IN THE FOLLOWING PLANTING SEASON, TEMPORARY STABILIZATION OF DISTURBED AREAS: SEED BED PREPARATION: TILL THREE INCHES DEEP MIXING IN FERTILIZER. APPLY LIME 2 TONS/ACRE (100#/1,000 SQ. FT.) FERTILIZE: UNIFORMLY APPLY NOT LESS THAN 300#/ACRE (71/1,000 SQ.FT.) OF 10-20-20 OR EQUIVALENT. SEEDING: SELECT APPROPRIATE SEEDING MIXTURE FROM TABLE 1 BELOW. SPREAD SEED UNIFORMLY. FIRM SOIL BY ROLLING OR PACKING; IF NOT FEASIBLE, THEN RAKE LIGHTLY TO COVER SEEDS. MULCHING: MULCH ALL DISTURBED AREAS WITH 1-1/2 TO 2 TONS OF HAY OR STRAW PER ACRE (70 - 90#/1,000 SQ. FT.) ANCHOR ON ALL SLOPES 3:1 OR STEEPER AND FLATTER SLOPES SUBJECT TO WASH OR WIND BLOWN. JUTE OR OTHER BIODEGRADABLE (NOT PHOTO-BIODEGRADABLE) NETTING, STAKING AND STAPLING MAY BE REQUIRED.

TABLE 1

SEEDING RECOMMENDATIONS FOR TEMPORARY VEGETATION

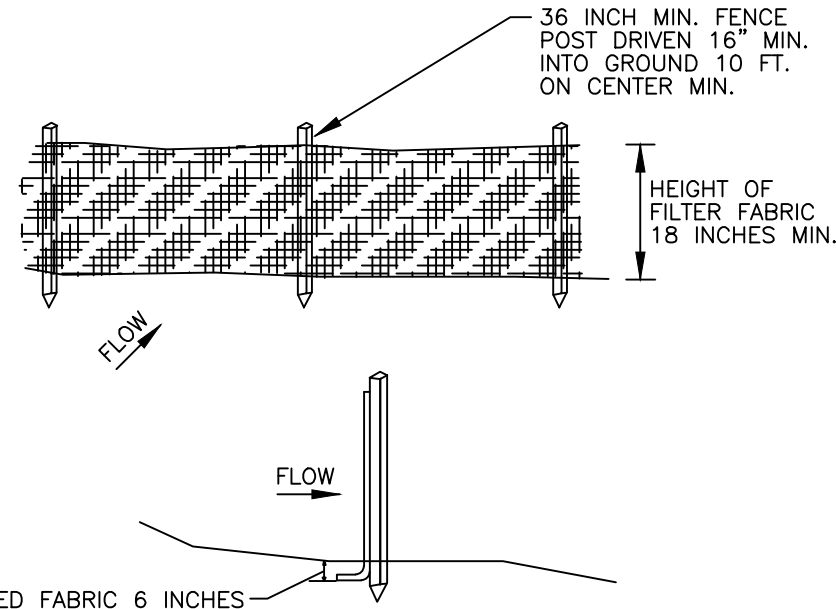
SPECIES	PER ACRE	PER 1,000 SQ.FT.	REMARKS
WINTER RYE	2 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO DEPTH OF ONE INCH.
OATS	2 1/2 BU OR 80 LBS.	2 LBS.	BEST FOR SPRING SEEDINGS. LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO DEPTH OF ONE INCH.
ANNUAL RYE	40 LBS.	1 LB.	GROWS QUICKLY, BUT IS OF SHORT GRASS DURATION. USE WHERE APPEARANCES ARE IMPORTANT. COVER SEED WITH NO MORE THAN 1/4 INCH OF SOIL WITH MULCH. SEEDING MAY BE DONE THROUGHOUT GROWING SEASON. OTHERWISE SEED EARLY SPRING OR BETWEEN AUGUST 15 & SEPT. 15.

- PERMANENT STABILIZATION OF DISTURBED AREAS: SEED BED PREPARATION: TOPSOIL (SANDY LOAM, LOAM, OR SILT LOAM), FRIABLE, FREE OF TREE ROOTS, WEEDS, STONES MORE THAN 1-1/2 INCHES IN DIAMETER OR LENGTH SHALL BE PLACED OVER ALL DISTURBED AREAS IN A 6" (MINIMUM) THICK LAYER. TOPSOIL SHALL BE FREE OF HERBICIDES AND TOXIC MATERIALS. TILL THREE INCHES DEEP MIXING IN THE FERTILIZER AND LIME. APPLY LIME 2 TONS/ACRE (100#/1,000 SQ. FT.) FERTILIZE: UNIFORMLY APPLY NOT LESS THAN 500#/ACRE (12#/1,000 SQ.FT.) OF 10-20-20 OR EQUIVALENT. SEEDING: SELECT APPROPRIATE SEEDING MIXTURE FROM TABLE 2 BELOW. SPREAD SEED UNIFORMLY FIRM SOIL BY ROLLING OR PACKING; IF NOT FEASIBLE, THEN RAKE LIGHTLY TO COVER SEEDS. MULCHING: MULCH ALL DISTURBED AREAS WITH 1-1/2 TO 2 TONS OF HAY OR STRAW PER ACRE (70 - 90#/1,000 SQ.FT.) ANCHOR ON ALL SLOPES 3:1 OR STEEPER AND ON FLATTER SLOPES SUBJECT TO WASH (WATERWAYS AND/OR WINDBLOWN USING JUTE (OR OTHER BIODEGRADABLE-NOT PHOTO-BIODEGRADABLE) NETTING, STAKING, AND STAPLING.

TABLE 2

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
C	TALL FESCUE	20	0.45
	CREeping RED FESCUE	20	0.45
	BIRDFOOT TREFOIL	8	0.20
	TOTAL	48	1.10

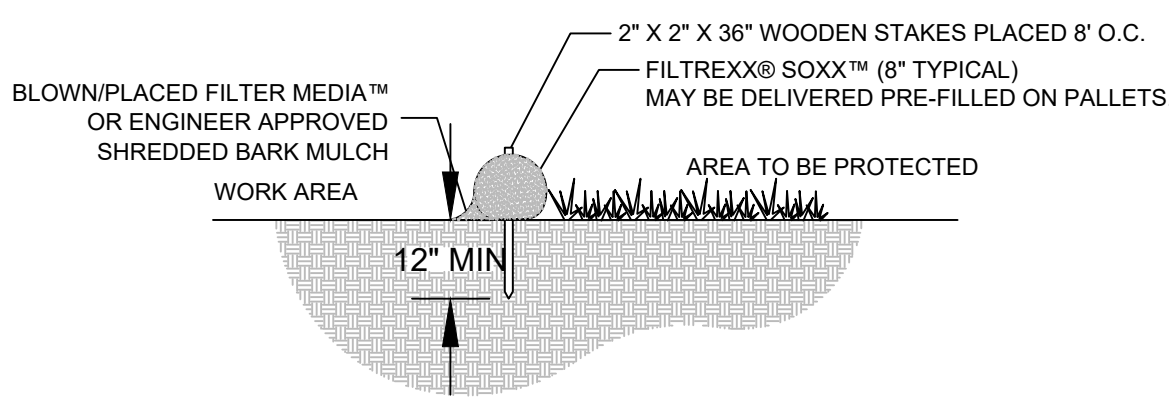
- TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- MAINTENANCE: DURING THE CONSTRUCTION PERIOD AND UNTIL SUCH TIME AS THE LONG TERM VEGETATION IS ESTABLISHED.
 - DISTURBED AREAS WILL BE FERTILIZED AND RESEEDED.
 - CHECK DAMS, SILT FENCE, AND EROSION CONTROL SOCKS WILL BE CHECKED AND CLEANED AS NECESSARY.
 - DRAINAGE AND GRASS TREATMENT SWALES SHALL BE CHECKED FREQUENTLY AND CLEANED AS REQUIRED.
 - CHECK DAMS, SILT FENCE, AND EROSION CONTROL SOCKS WILL BE CHECKED ON A REGULAR BASIS AND REPAIRED AS NECESSARY TO CORRECT ANY DAMAGE, DETERIORATION, AND SHORT CIRCUITING.
- REFER TO "GRADING AND UTILITY PLAN" PRIOR TO ANY SITE DISTURBANCE. CONTACT ENGINEER FOR COPIES OF PLAN.
- INSPECTIONS: - THE ENGINEER SHALL BE CONTACTED ON A REGULAR BASIS TO INSPECT ALL EROSION CONTROL PRACTICES AS WELL AS THE MAINTENANCE OF THE EROSION CONTROL COMPONENTS. INSPECTIONS SHALL OCCUR AT LEAST ONCE EVERY SEVEN DAYS AND AFTER A PRECIPITATION EVENT THAT CAUSES RUNOFF TO LEAVE THE SITE. EROSION CONTROL PRACTICES SHALL BE IN STRICT ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- ALL DITCHES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- THE MAXIMUM AMOUNT OF AREA TO BE DISTURBED AND UNSTABILIZED SHALL BE LESS THAN ONE (1) ACRE.
- THE MAXIMUM AMOUNT OF TIME ANY AREA MAY BE DISTURBED WITHOUT TEMPORARY OR FINAL STABILIZATION SHALL BE 7 CONSECUTIVE DAYS.
- IF EROSION CONTROL FABRIC IS USED, IT SHALL BE BIODEGRADABLE, BUT NOT PHOTO-BIODEGRADABLE.



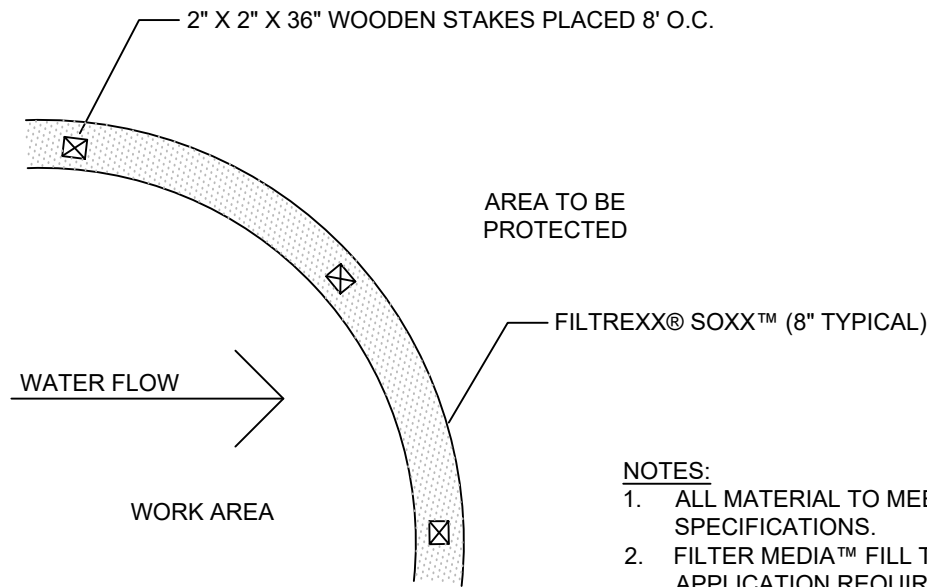
CONSTRUCTION SPECIFICATIONS

- SILT FENCE MAY BE EITHER PREMANUFACTURED OR PREPARED ON SITE. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- SILT FENCE SHALL BE LOCATED AS SHOWN ON THE PLAN AND WHEREVER CONSTRUCTION ACTIVITIES MAY RESULT IN A TEMPORARY RUNOFF TO A STREAM OR WETLAND WHICH MAY CARRY SILT OR SEDIMENT.
- THE TRENCH SHALL BE TOED IN PLACE BY PLACEMENT IN A 6 INCH TRENCH AND BACKFILLING WITH A SUITABLE MATERIAL.
- WHEN A TRENCH CANNOT BE CONSTRUCTED, THE FABRIC MAY BE FOLDED AT THE BASE IN A MANNER SUCH THAT A MINIMUM OF 6 INCHES OF FABRIC LIES ON THE GROUND TOWARD THE DIRECTION OF FLOW. THE FOLDED FABRIC SHALL BE COVERED TO A DEPTH OF 6 INCHES WITH SUITABLE MATERIAL EXTENDING A MINIMUM OF 4 INCHES BEYOND THE FABRIC.
- SUPPORTING STAKES SHALL BE PLACED NO MORE THAN 10 FEET APART.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED. FENCING SHALL BE REPLACED WHEN TORN, WHEN TRENCHING IS DISTURBED, WHEN THE FENCE DISPLAYS PLUGGING AS EVIDENCED BY SILT-LADEN APPEARANCE, WHEN WATER IS EXCESSIVELY RETARDED BY THE FENCE, OR WHENEVER "BULGES" APPEAR.

SILT FENCE
N.T.S.



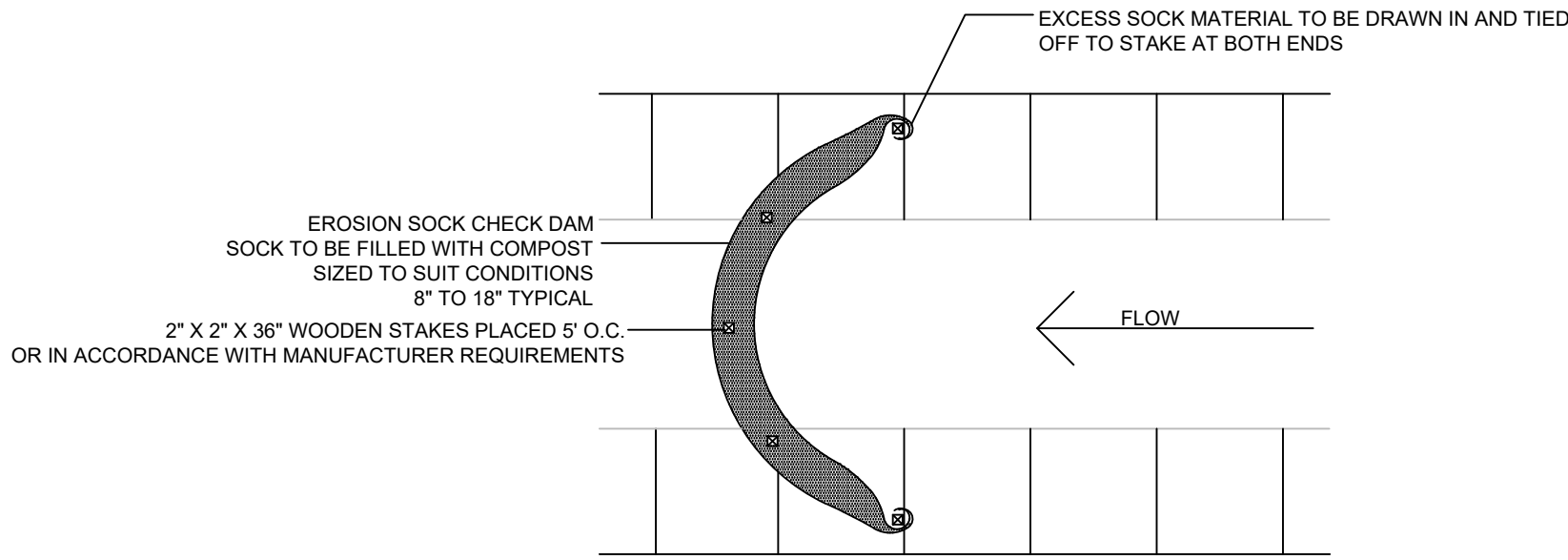
SECTION
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PLAN
N.T.S.

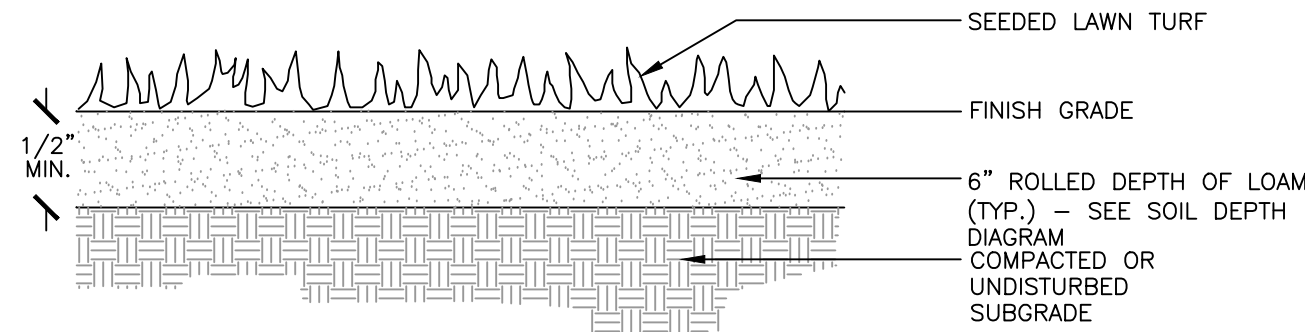
FILTREXX® EROSION CONTROL SOCK SEDIMENT CONTROL
N.T.S.

- NOTES:
- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS
 - FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, OR SOXX CAN BE DELIVERED ON PALLETS.

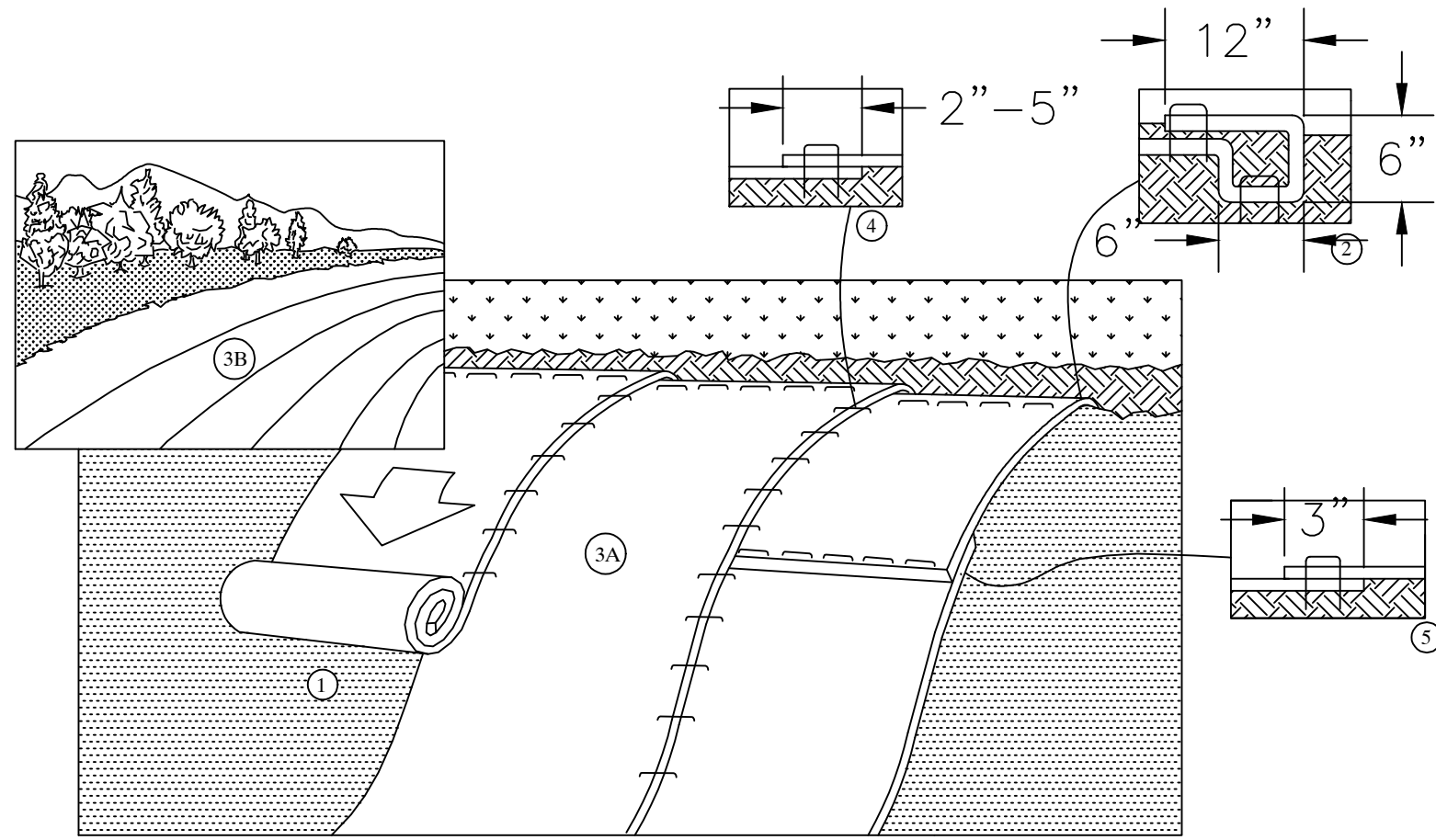


FILTREXX® CHECK DAM
N.T.S.

- NOTES:
- ALL MATERIAL TO MEET MANUFACTURER SPECIFICATIONS.
 - CHECK DAM SHOULD BE USED IN AREAS THAT DRAIN 10 ACRES OR LESS.
 - SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
 - CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
 - CONTRACTOR IS REQUIRED COMPLY WITH ALL MANUFACTURER REQUIREMENTS.
 - SOCKS TO BE DEGRADABLE COMPOST SOCKS AND SHALL BE MESH TUBE OVAL TO ROUND IN CROSS-SECTION. COMPOSED OF A KNITTED BIODEGRADABLE OR PHOTODEGRADABLE MATERIAL WITH 1/2 TO 3/4 INCH OPENINGS. FABRIC MUST BE CLEAN, EVENLY WOVEN; FREE OF ENCRUSTED CONCRETE OR OTHER CONTAMINATED MATERIALS; FREE FROM CUTS, TEARS, BROKEN OR MISSING YARNS AND THIN, OPEN, OR WEAK PIECES.
 - COMPOST MAY BE DERIVED FROM GREEN MATERIAL CONSISTING OF CHIPPED, SHREDDED, OR GROUND VEGETATION; OR CLEAN RECYCLED WOOD PRODUCTS. COMPOST MUST NOT BE DERIVED FROM MIXED MUNICIPAL SOLID WASTE AND BE REASONABLY FREE OF VISIBLE CONTAMINATES. COMPOST MUST NOT CONTAIN PLANT, PETROLEUM PRODUCTS, PESTICIDES OR OTHER CHEMICAL RESIDUES, HARMFUL TO ANIMAL LIFE OR PLANT GROWTH. COMPOST MUST NOT POSSES OBJECTIONABLE ODORS.



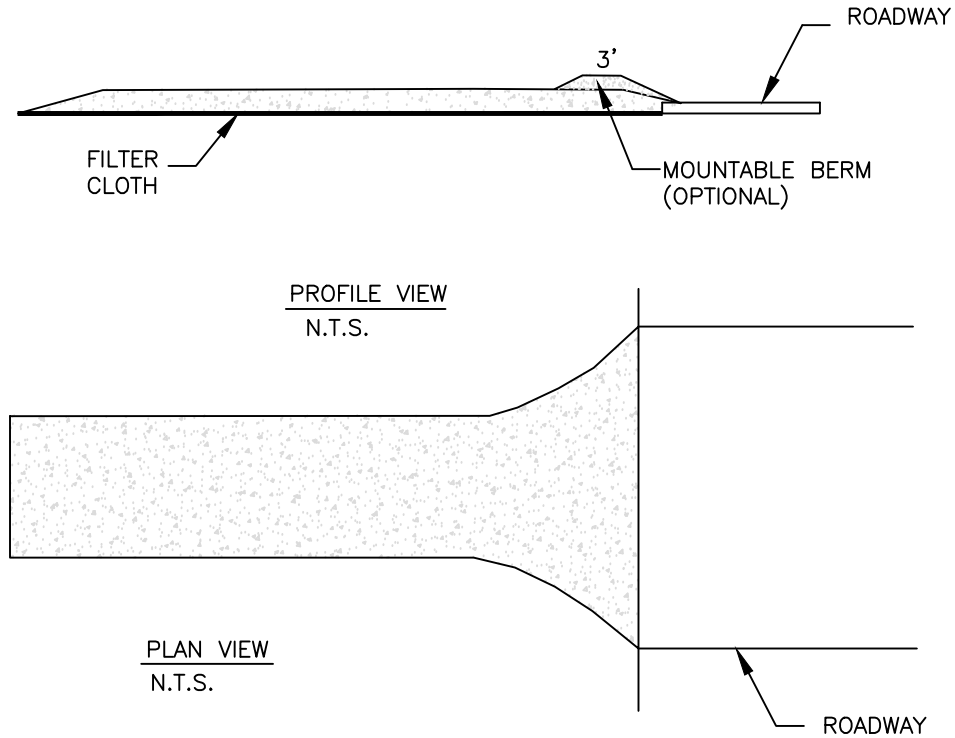
TYPICAL LOAM AND SEED DETAIL
N.T.S.



SLOPE INSTALLATION

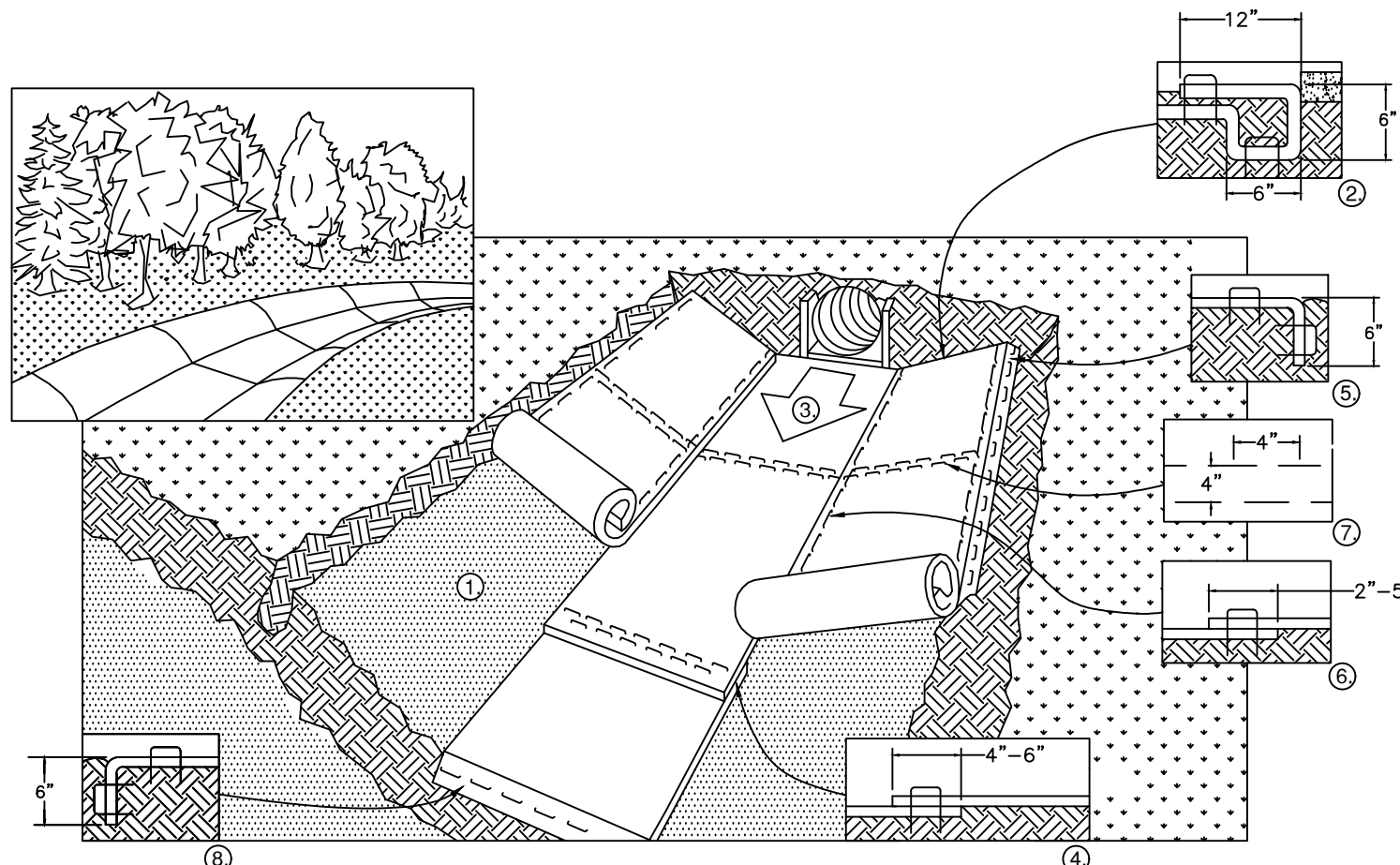
- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
- ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON RECP'S TYPE.
- CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECP'S WIDTH.
NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION
N.T.S.



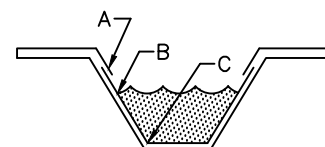
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED.



- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" ACROSS THE WIDTH OF THE RECP'S.
- ROLL CENTER RECP'S IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE RECP'S END OVER END (SHINGLE STYLE) WITH A 4" - 6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE RECP'S.
- FULL LENGTH EDGE OF RECP'S AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT RECP'S MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (DEPENDING ON RECP'S TYPE) AND STAPLED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- THE TERMINAL END OF THE RECP'S MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE: *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP'S.



- CRITICAL POINTS
- OVERLAPS AND SEAMS
 - PROJECTED WATER LINE
 - CHANNEL BOTTOM/SIDE SLOPE VERTICES

- NOTE:
- HORIZONTAL STAPLE SPAcing SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE
 - ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP'S.

EROSION CONTROL BLANKETS - CHANNEL/DITCH/SWALE INSTALLATION
N.T.S.



Alex & Candice Defelice

EROSION AND SEDIMENT CONTROL DETAILS FOR
ALEX & CANDICE DEFELICE
(TAX MAP 42, LOT 61)

565 MAPLE STREET, HARTFORD, VERMONT

PATHWAYS CONSULTING, LLC

240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: AS SHOWN

DESIGNED BY: DAS

DRAWN BY: DAS

CHECKED BY: JSG

DATE: 12-16-24

PROJ. NO. 13445

SHEET 4 OF 4

PATHWAYS CONSULTING, LLC

Planning • Civil & Environmental Engineering • Surveying • Construction Assistance
240 Mechanic Street • Suite 100
Lebanon, New Hampshire 03766
(603) 448-2200 • Fax: (603) 448-1221

MEMORANDUM

TO: JO-ANN ELLS, ZONING ADMINISTRATOR

FROM: JEFFREY S. GOODRICH, P.E.

RE: RESPONSE TO STAFF COMMENTS, SUBDIVISION SERVICES, 656
MAPLE STREET, HARTFORD, VERMONT (PROJECT NO. 13445)

DATE: DECEMBER 19, 2024

Our responses to the Department Heads' and Staff preliminary comments, dated December 17, 2024, are provided in *italics* below each comment.

1. Please confirm that you understand that you retain the obligation to identify, apply for, and obtain any relevant local and state permits for this project.

To determine what State Environmental Permits may be required for your project, The Vermont Agency of Natural Resources (ANR) recommends that you use ANR's Permit Navigator Tool by going to the VT Department of Environmental Conservation website [Welcome to DEC | Department of Environmental Conservation \(vermont.gov\)](https://www.vermont.gov/dec) and going to the "Permit Navigator Tool" [Permit Navigator \(force.com\)](https://www.force.com)

If further assistance is needed, please contact the Community Assistance Specialist for our area:

Jeff McMahon, Community Assistance Specialist

Jeff.McMahon@Vermont.gov

802-477-2241

The applicant understands the obligation to identify, apply for, and obtain any relevant local and state permits for this project (including local allocation and driveway access approvals and state utility approvals).

2. Please confirm that you understand that to finalize the Planning Commission's approval of your application, you must submit the following to me within 180 days of the date approval was signed, or their approval will be invalid, and reapplication required:
 - An application for a Zoning Permit
 - Documentation of how any conditions of the Planning Commission's approval have been met
 - Mylar
 - A copy of the executed and recorded utility easement over lands of Clerkin and Cooney.

- Certification from your surveyor verifying that the monuments have been set according to the locations identified on the approved survey.
- Certification your surveyor and engineer verifying that no changes, other than those required by the Planning Commission, were made to the final survey and site plans.
- Zoning Permit fee (\$75)

A separate Zoning Permit is required to develop the new lot.

The applicant understands the requisite items that need to be completed within 180 days of the date of the Planning Commission approval.

3. If you have not done so already, I encourage you to talk to Hartford's Environmental Sustainability Coordinator, Dana Clawson, about the Vermont Residential Energy Code and energy efficiency options for the proposed dwelling. (dclawson@hartford-vt.org)

The applicant understands the need to talk to the Town's Environmental Sustainability Coordinator.

4. Please respond to the following questions from DPW regarding the Site Plans:

Sheet 2 of 4

Grading & Drainage: Please describe how you will ensure low areas (contour 365 and below) are adequate for any temporary ponding of run-off before infiltration, grade out as necessary, and call out an area for snow storage and drainage. Also, consider a culvert at the bend of the driveway to reduce icing during frozen times of the year.

Our goal was to maintain the existing low area on the property to receive and manage surface water runoff from the proposed project. The applicant is not aware of any ponding in the low area, which is relatively large in size. To the extent issues arise in the future, the low area can be excavated to provide the necessary volume to accommodate stormwater.

We will amend the site plan to show snow storage along the access drive and parking areas.

The applicant will consider installation of a culvert at the bend in the driveway.

Sheet 3 of 4

Pump Station: § 1-1008 Requirements for Wastewater Pump Stations, (C) The design of pumps shall meet the following requirements: (2) Wastewater pump stations receiving a design flow of less than 2000 gallons per day: (B) shall have one day's emergency storage above the high-water alarm level in the wet well. Please revise pump station to include required emergency storage.

Typical Water Service Connection: The detail indicates a corporation connection to a new water main. Please revise to show connection to the existing 2" PVC main and please call out the proper fittings required.

We would like to condition the provision of utility details during the allocation process after Planning Commission approval, which will then be submitted for state review and approval.

5. Please outline how the application conforms with section 260-27 C of the Hartford Zoning Regulations which states:

C. Grading and drainage. The following provisions shall apply to any changes which affect drainage of water to or from a property:

- (1) Any changes in grading shall be made so that runoff is directed to established drainage courses and will not cause ponding or flooding of other properties, or exceed the capacity of downstream drainage facilities.
- (2) When possible, drainage systems shall be designed so that water runoff existing prior to site development shall not be increased after development.
- (3) All changes in grade shall be controlled so as not to cause a nuisance or damage to other properties or erosion of topsoil.

The site consists of Urban land-Windsor-Agawam complex soils, which are very well drained. We believe that the existing low area in these soils will provide necessary treatment, detention, and infiltration for the proposed project.

6. Please amend the title blocks on the survey and site plan to include the map lot numbers.

The title blocks on all plans submitted on 12/13/2024, including the survey and site plan, have the map lot numbers.

7. Please amend the Zoning Information on the survey to reflect the date of the current Zoning Regulations (10-04-22).

We amended the survey plan, existing conditions plan, and the site plan to reflect the date of the current Zoning Regulations (10-04-2022) and we are resubmitting them with the rest of the plan set.

8. Please provide a deadline to bring the parking on lot 42-0061-000 into compliance with the approved site plan.

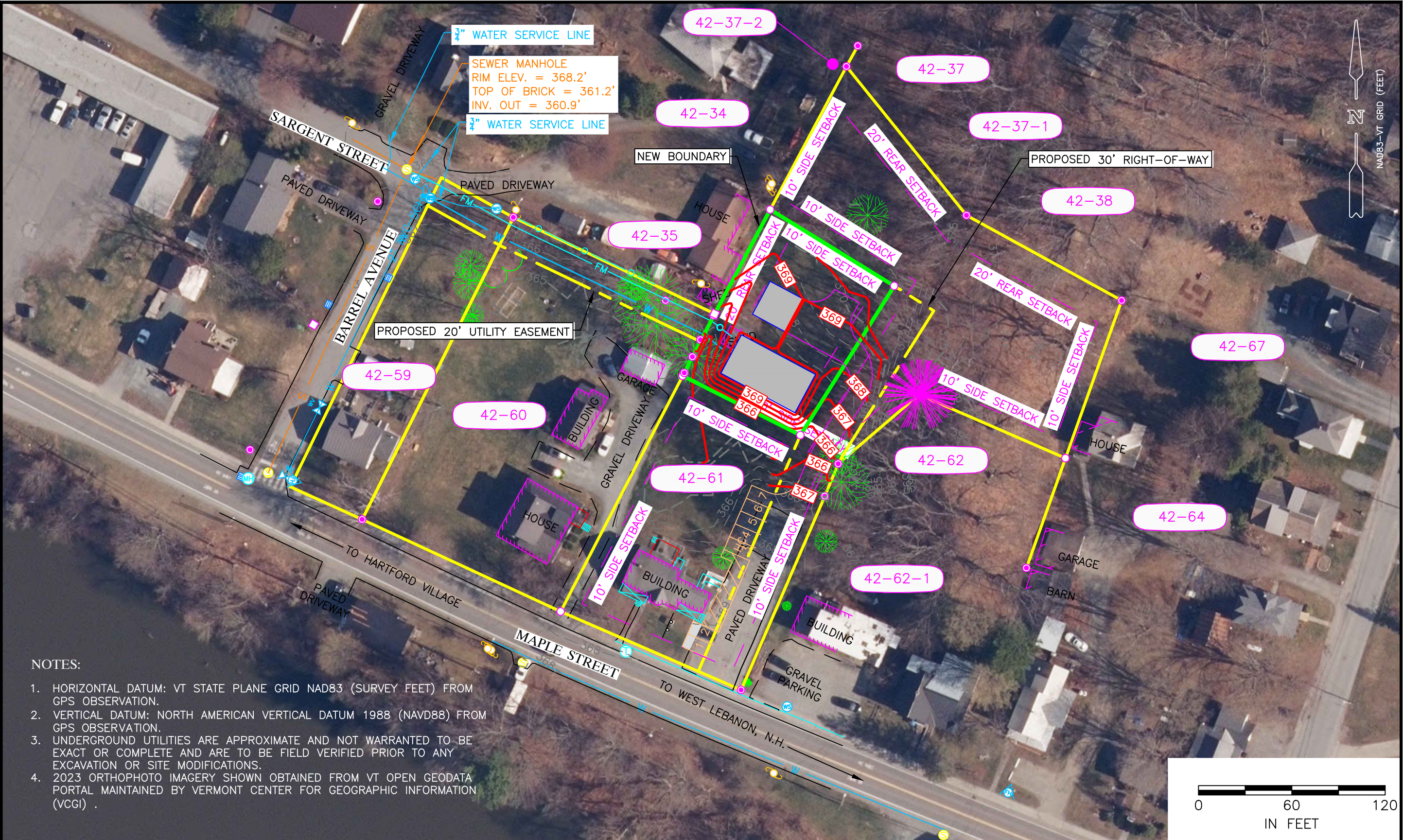
The applicant proposes to bring the commercial parking into compliance in the 2025 construction season.

9. Please send me a single email with all application materials, including your response to this memo.

We will forward all materials in a single email.

10. Please submit 8 copies of all application materials, including your response to this memo. 11" x 17" site plans are acceptable. Please staple the site plans together.

We will submit 8 copies of all application materials.



NOTES:

1. HORIZONTAL DATUM: VT STATE PLANE GRID NAD83 (SURVEY FEET) FROM GPS OBSERVATION.
2. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) FROM GPS OBSERVATION.
3. UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT WARRANTED TO BE EXACT OR COMPLETE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR SITE MODIFICATIONS.
4. 2023 ORTHOPHOTO IMAGERY SHOWN OBTAINED FROM VT OPEN GEODATA PORTAL MAINTAINED BY VERMONT CENTER FOR GEOGRAPHIC INFORMATION (VCGI).



Pathways Consulting, LLC

240 Mechanic Street, Suite 100
Lebanon, New Hampshire 03766
(603) 448-2200 FAX: (603) 448-1221

ORTHOPHOTO FIGURE FOR
ALEX & CANDICE DEFELICE
(TAX MAP 42, LOT 16)
565 MAPLE STREET, HARTFORD, VERMONT

SCALE: AS SHOWN
DESIGNED BY:
DRAWN BY: DAS
CHECKED BY: JSG
DATE: 12/18/24
PROJ. NO.13445

EXHIBIT

A